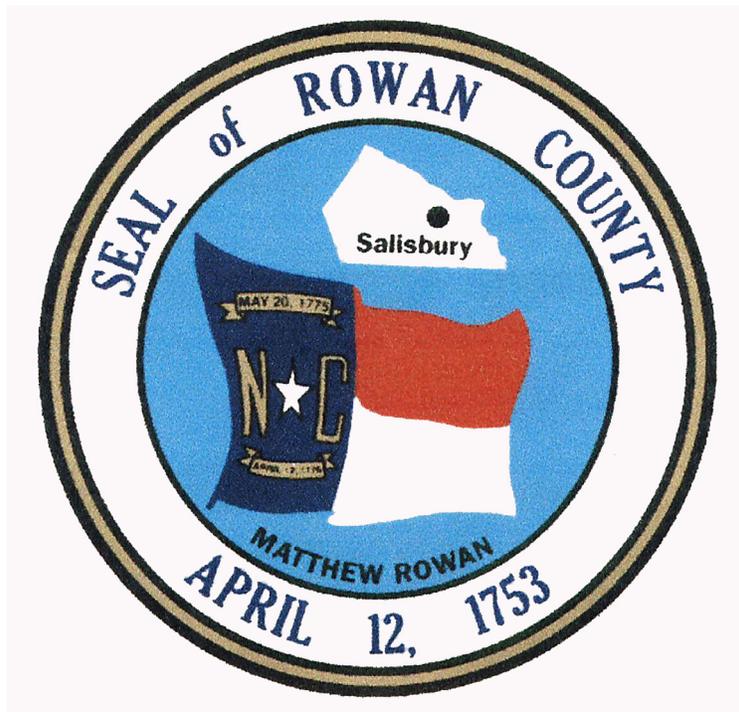


FACILITIES MASTER PLAN

Provided for

Rowan County

April 2015



Prepared by

adwarchitects
environmentsforlife

architecture

planning

interiors

101 West Worthington Avenue
Suite 270
Charlotte, NC 28203
ADW Project Number 14032



COVER SHEET

TABLE OF CONTENTS

1.0	FACILITIES MASTER PLAN PRESENTATION	1.0
2.0	COST ESTIMATE SUMMARY	
	WITH WEST END PLAZA	2.2
	WITHOUT WEST END PLAZA	2.4
3.0	FACILITY ASSESSMENTS	
	1811/1813 EAST INNES STREET	3.2
	402 NORTH MAIN STREET	3.4
	232 NORTH MAIN STREET	3.6
	210 NORTH MAIN STREET	3.8
	310 NORTH MAIN STREET	3.10
	118 WEST LIBERTY STREET	3.12
	130 WEST INNES STREET	3.14
	201 WEST FISHER STREET	3.16
	2727 OLD CONCORD ROAD	3.18
	1465 JULIAN ROAD	3.20
	1090 CORPORATE CENTER DRIVE	3.22
	2726 OLD CONCORD ROAD	3.24
	425 AIRPORT ROAD	3.26
	165 MAHALEY AVENUE	3.28
	1236 WEST INNES STREET	3.30
	102 NORTH CENTRAL AVENUE – LANDIS	3.32
	110 BROAD STREET – ROCKWELL	3.34
4.0	WEST END PLAZA STRUCTURAL ANALYSIS REPORT	4.0
	PHOTOGRAPHS	4.12



1.0 FACILITIES MASTER PLAN PRESENTATION



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FACILITIES MASTER PLAN

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April 2015



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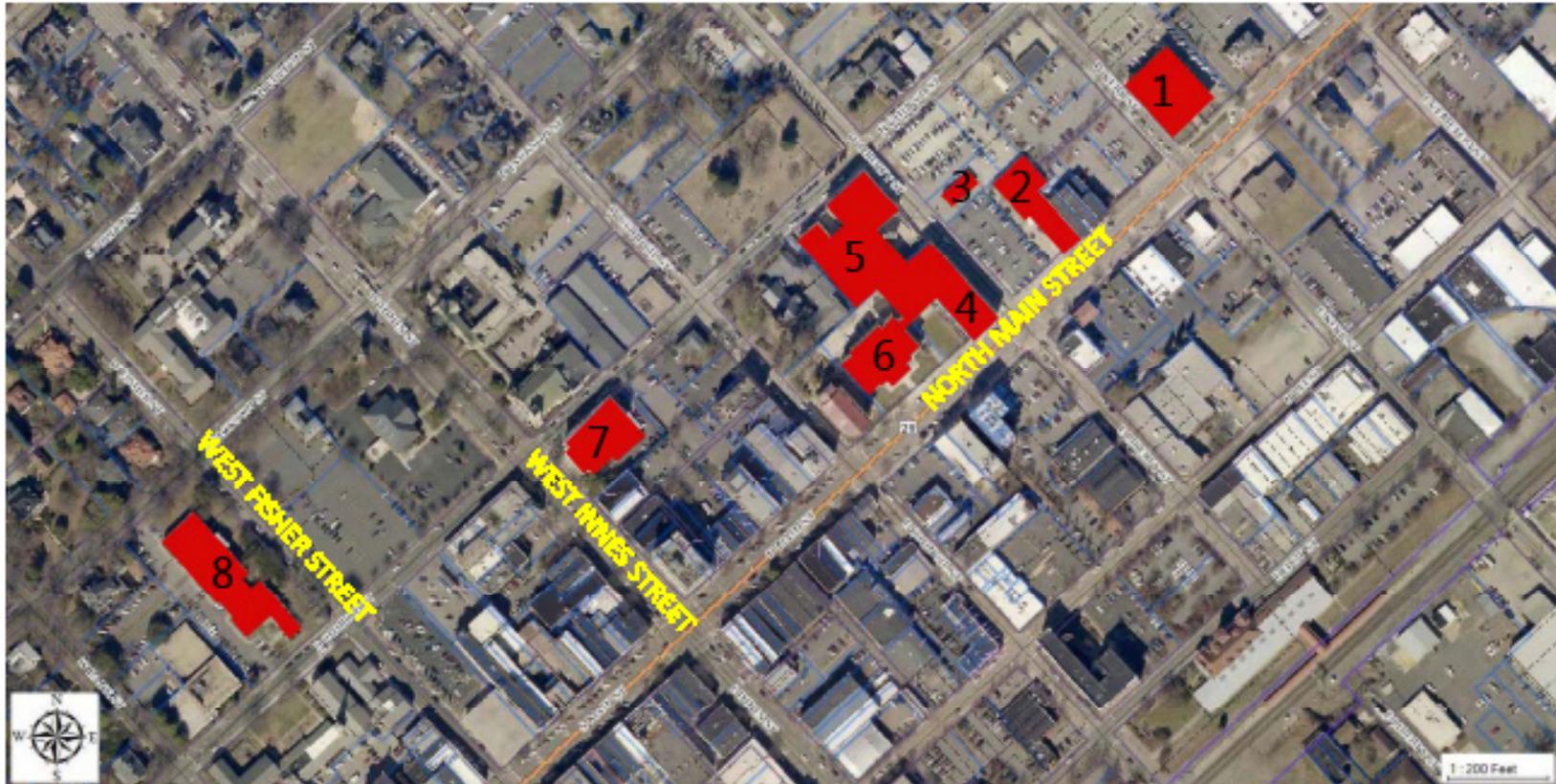
architecture planning interiors

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Suite 270
Charlotte, NC 28203
ADW Project Number 14032

- I. Current Department Locations
- II. Master Plan Options
 - A. With West End Plaza
 - B. Without West End Plaza



OVERVIEW



1 – Building Code Enforcement
 1 – Environmental Health
 1 – Planning & Development
 1 – Register of Deeds
 1 – Tax Administration

2 – Guardian ad Litem
 2 – Probation
 3 – Magistrate
 4 – Superior Court Judge
 4 – District Court Judges

4 – District Attorney
 4 – Sheriff's Office
 5 – Detention Center
 6 – Clerk of Superior Court
 7 – Board of Elections

7 – County Manager
 7 – Finance
 7 – Human Resources
 7 – Information Systems
 8 – Library Headquarters



CURRENT DEPARTMENT LOCATIONS



- 1 – Health
- 1 – Social Services
- 2 – Facilities Management
- 3 – Animal Control
- 4 – Cooperative Extension
- 4 – Emergency Services
- 4 – Veteran Services
- 5 – 911 Telecommunications
- 6 – Rowan Transit System



CURRENT DEPARTMENT LOCATIONS



- 1 – 165 Mahaley Avenue
(currently vacant)
- 2 – 1236 West Innes Street
(currently vacant)
- 3 – Jail Annex



CURRENT DEPARTMENT LOCATIONS

I. Current Department Locations

II. Master Plan Options

A. With West End Plaza

B. Without West End Plaza





WEST END PLAZA

WEST END PLAZA



SITE IMPROVEMENTS



WEST END PLAZA

Departments to be relocated here:

- Social Services
- Health
- Board of Elections
- Building Code Enforcement
- Environmental Health
- Planning & Development
- Veteran Services
- Public Library – Local History and Genealogy

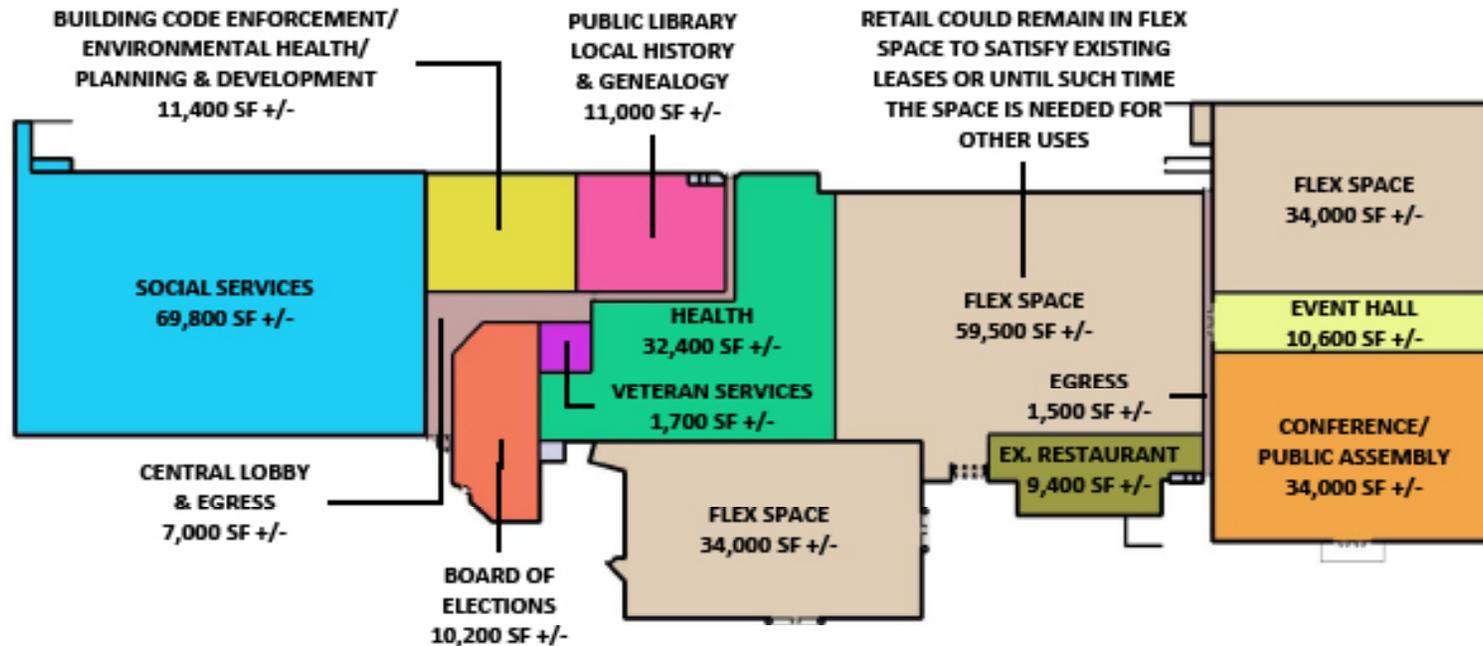
Other proposed spaces include:

- Conference/ Public Assembly
- Flex Spaces
- Lease space for Retail/ Restaurant



MASTER PLANNING

WEST END PLAZA - OPTION A1



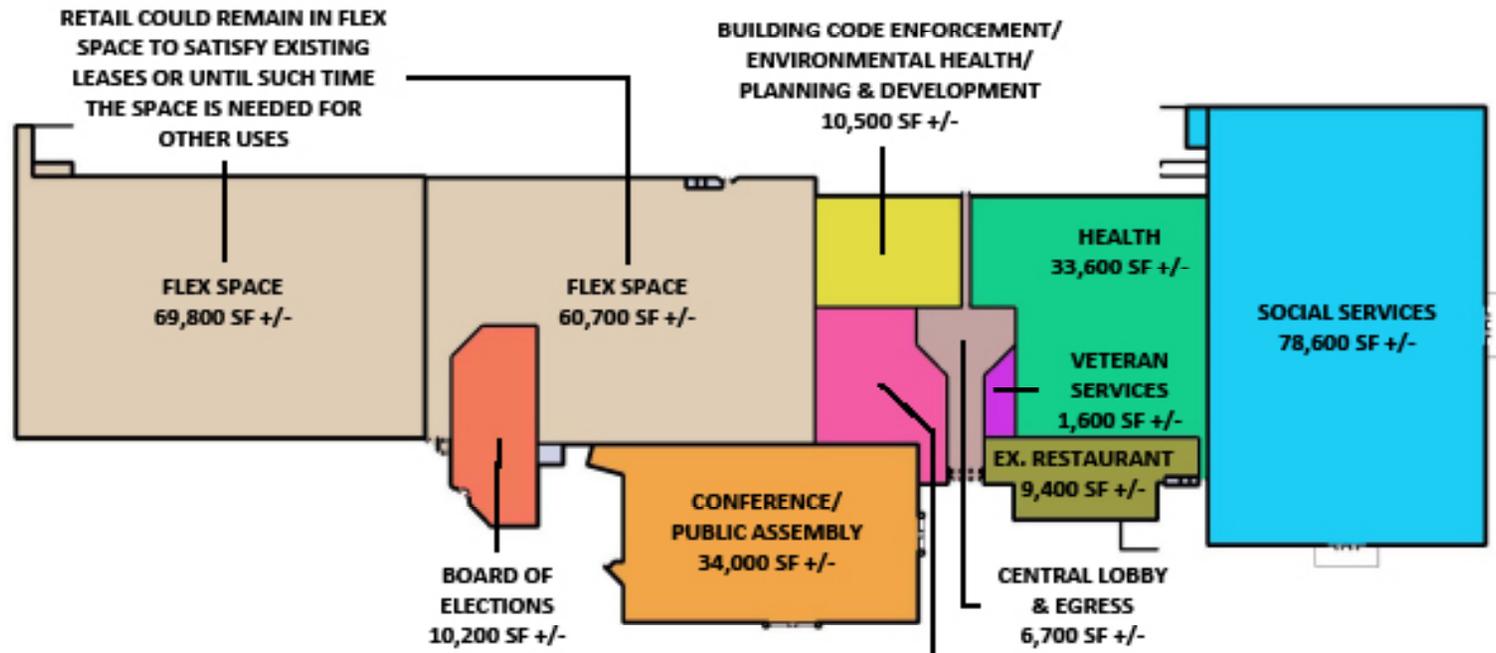
15 Year Projected Growth

- 63,000sf – Social Services
- 30,000sf – Health
- 10,000sf – Board of Elections
- 10,000sf – Public Library – Local History & Genealogy
- 4,600sf – Planning & Development
- 3,500sf – Building Code Enforcement
- 2,400sf – Environmental Health
- 1,600sf – Veteran Services

MASTER PLANNING



WEST END PLAZA - OPTION A2



15 Year Projected Growth

- 63,000sf – Social Services
- 30,000sf – Health
- 10,000sf – Board of Elections
- 10,000sf – Public Library – Local History & Genealogy
- 4,600sf – Planning & Development
- 3,500sf – Building Code Enforcement
- 2,400sf – Environmental Health
- 1,600sf – Veteran Services

MASTER PLANNING



WEST END PLAZA

Projected Construction Cost

7,757,000 - Social Services

3,932,000 - Health

1,195,000 - Board of Elections

418,000 - Building Code Enforcement

306,000 - Environmental Health

550,000 - Planning & Development

208,000 - Veteran Services

634,000 - Public Library – Local History
and Genealogy

Other proposed spaces:

4,560,000 - Conference/ Public Assembly

TBD - Flex Spaces

TBD - Lease space for Retail/ Restaurant

1,705,000 - Site Work

21,265,000 – Sub Total – West End Plaza



MASTER PLANNING

1811/ 1813 EAST INNES STREET



Current Departments to remain here:

- None

Current Departments to be vacated from here:

- Health
- Social Services

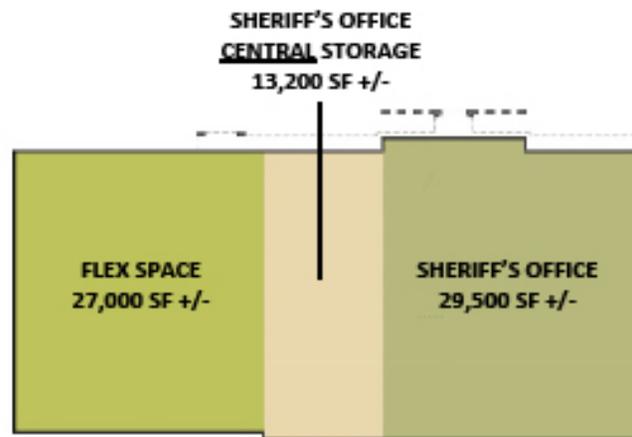
Departments to be relocated here:

- Sheriff's Office
 - divisions not requiring courthouse adjacency



MASTER PLANNING

1811/ 1813 EAST INNES STREET



15 Year Projected Growth
29,200sf – Sheriff's Office

Projected Construction Cost
234,000 – Shell Improvements
1,582,000 – Sheriff's Office Upfit

1,816,000 – Sub Total – Shell & Upfit



MASTER PLANNING

402 NORTH MAIN STREET



Current Departments to remain here:

- Register of Deeds
- Tax Administration

Current Departments to be vacated from here:

- Building Code Enforcement
- Environmental Health
- Planning and Development

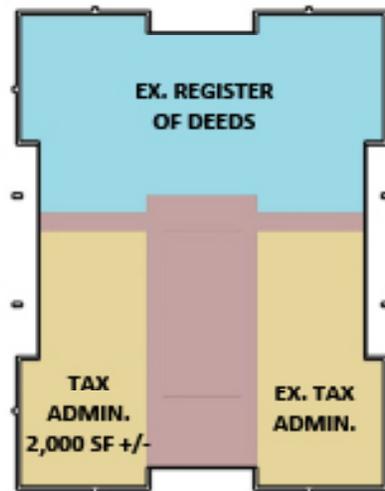
Departments to be relocated here:

- Sheriff's Office
 - divisions requiring courthouse adjacency
- Flex Space/ Future Probation

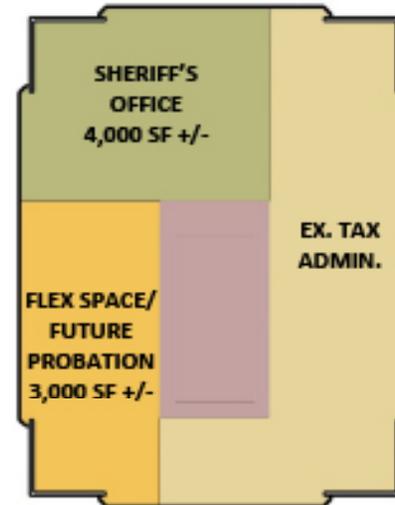


MASTER PLANNING

402 NORTH MAIN STREET



1ST FLOOR



2ND FLOOR

Projected Construction Cost

427,000 – Shell Improvements

117,000 – Tax Administration

239,000 – Sheriff's Office

783,000 – Sub Total – Shell & Upfit



MASTER PLANNING

232 NORTH MAIN STREET



MASTER PLANNING

232 NORTH MAIN STREET

Current Departments to remain here:

- 1st Floor
 - None
- 2nd Floor
 - District Court Judges
- 3rd Floor
 - Courtrooms and support spaces

Current Department to be vacated from here:

- All Floors
 - Sheriff's Office

Current Departments to be relocated within building:

- District Attorney
 - 2nd Floor to 3rd Floor
- Superior Court Judge
 - 3rd Floor to 2nd Floor

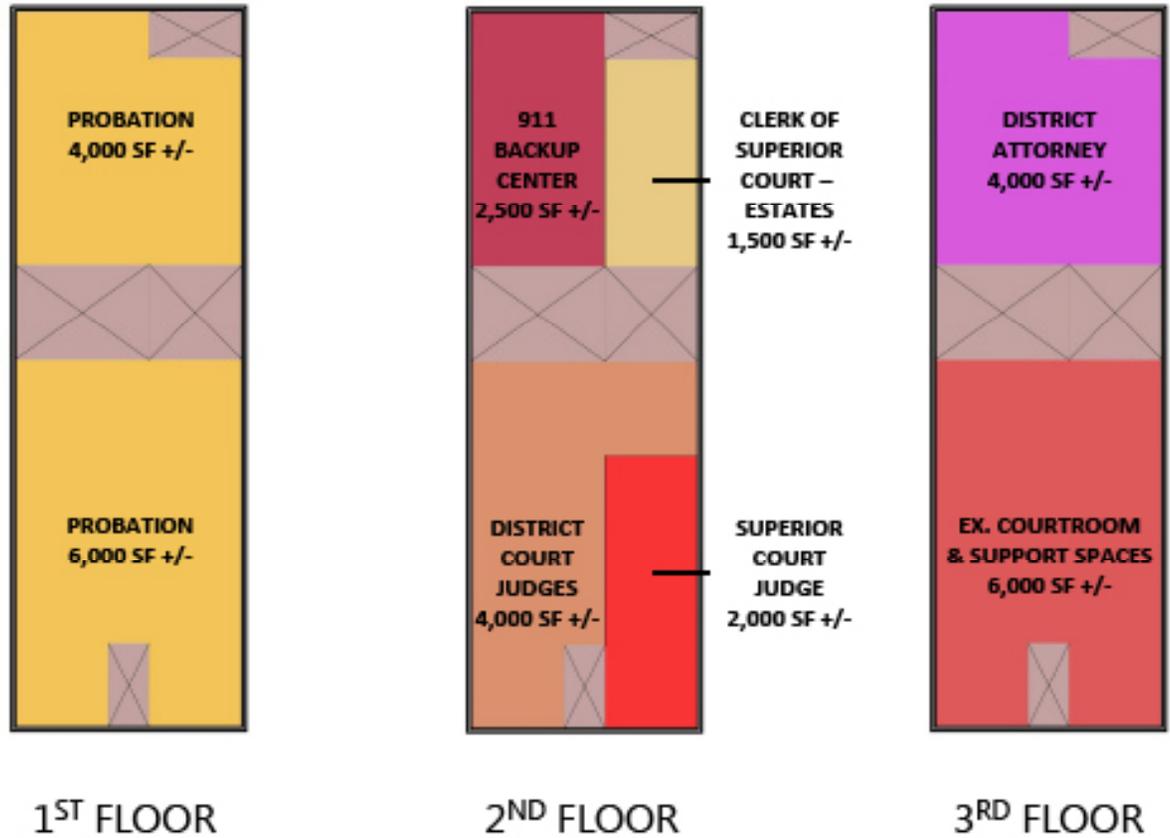
Departments from other locations to be relocated here:

- 1st Floor
 - Probation
 - From all leased building locations
- 2nd Floor
 - District Court Judges
 - Judges not already located here
 - 911 Backup Center
 - Clerk of Superior Court
 - Estates Division



MASTER PLANNING

232 NORTH MAIN STREET



1ST FLOOR

2ND FLOOR

3RD FLOOR



MASTER PLANNING

232 NORTH MAIN STREET

Projected Construction Cost

N/A – Shell Improvements
342,000 – Probation
40,000 – 911 Backup Center
60,000 – Clerk of Superior Court - Estates
81,000 – Superior Court Judge
161,000 – District Attorney

684,000 – Sub Total – Shell & Upfit



MASTER PLANNING

210 NORTH MAIN STREET



MASTER PLANNING

210 NORTH MAIN STREET

Current Departments or Clerk of Superior Court Divisions to remain here:

- Basement Level
 - Storage
- 1st Floor
 - Civil Division
 - Criminal Division
 - Cashier/ Bookkeeping
- 2nd Floor
 - Superior Courtroom and support spaces
 - Jury Pool Room
- 3rd Floor
 - Courtroom
 - Juvenile Services

Current Departments or Clerk of Superior Court Divisions to be vacated from here:

- 1st Floor
 - Estates Division
- 2nd Floor
 - District Court Judge
- 3rd Floor
 - Adult Probation/ Community Service

Clerk of Superior Court Divisions to be expanded here:

- 1st Floor
 - Civil/ Criminal Divisions or Storage
- 2nd Floor
 - Grand Jury Room

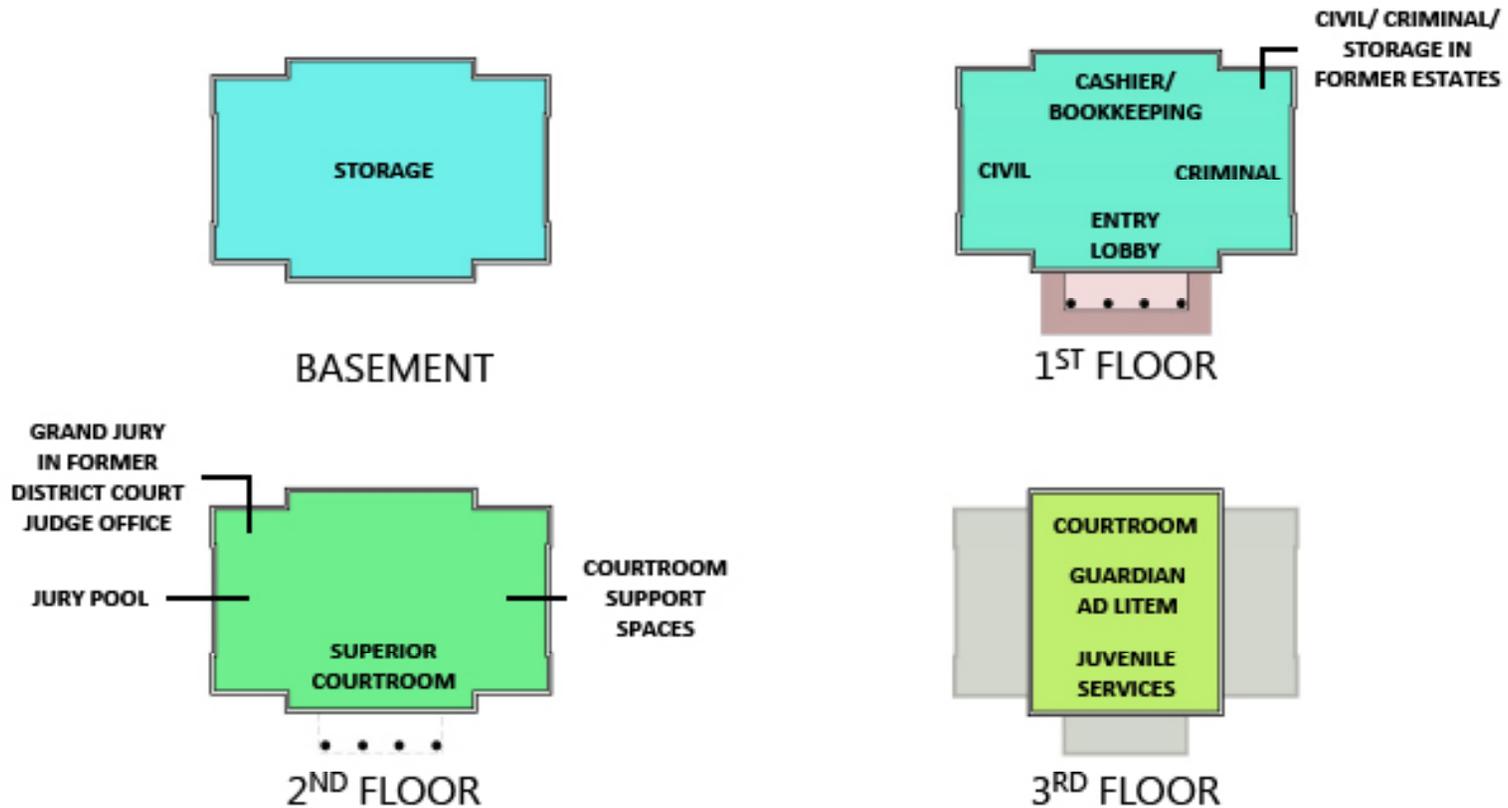
Department to be relocated here:

- 3rd Floor
 - Guardian ad Litem



MASTER PLANNING

210 NORTH MAIN STREET



Projected Construction Cost

24,000 – Sub Total - Shell Improvements

MASTER PLANNING



310 NORTH MAIN STREET – CRAWFORD BUILDING



Current Department to remain here:

- Probation

Current Department to be vacated from here:

- Guardian ad Litem

Department to be relocated here:

- Adult Probation/ Community Service



MASTER PLANNING

310 NORTH MAIN STREET – CRAWFORD BUILDING

Projected Construction Cost

N/A – Shell Improvements

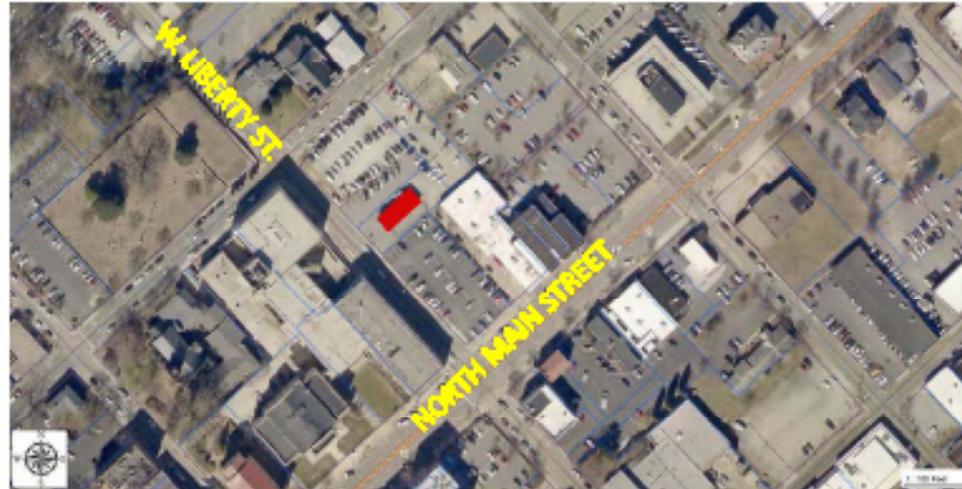
73,000 – Adult Probation/
Community Service

73,000 – Sub Total – Shell & Upfit



MASTER PLANNING

118 WEST LIBERTY STREET



Current Departments to remain here:

- None

Current Department to be vacated from here:

- Magistrate

Facilities to be relocated here:

- Parking
 - Demolish existing building

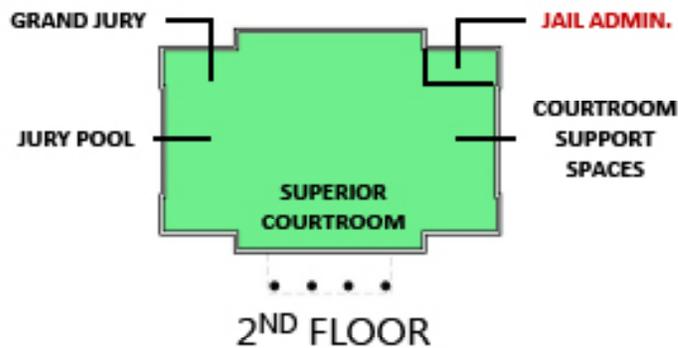


MASTER PLANNING

118 WEST LIBERTY STREET

Option 1

- Relocate Magistrate to 115 West Liberty Street - Detention Center
- Relocate Jail Administration as needed to 210 North Main Street – 2nd Floor



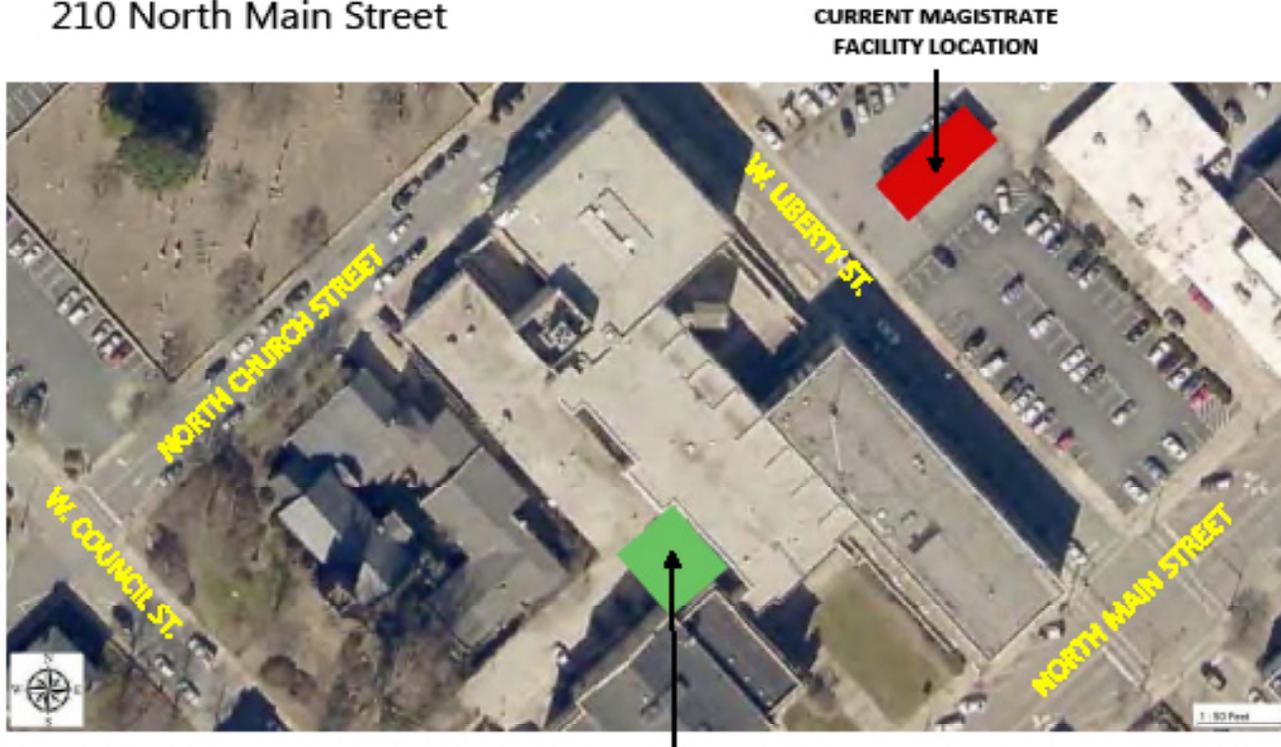
MASTER PLANNING



118 WEST LIBERTY STREET

Option 2

- New Magistrate Facility
 - Located behind Clerk of Superior Court
210 North Main Street



MASTER PLANNING

118 WEST LIBERTY STREET

Option 1 – Projected Construction Cost

29,000 – Demolish Existing Building

28,000 – Jail Administration Relocation

57,000 – Sub Total – Option 1

Option 2 – Projected Construction Cost

29,000 – Demolish Existing Building

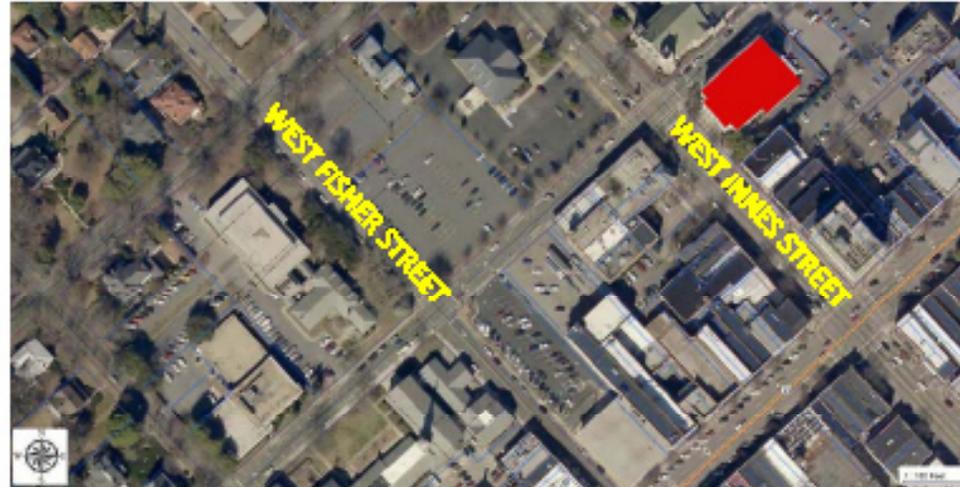
598,000 – New Building - Magistrate

627,000 – Sub Total – Option 2



MASTER PLANNING

130 WEST INNES STREET – ADMINISTRATION BUILDING



Current Department to be vacated from here:

- Board of Elections

Current Departments to be expanded here:

- Finance
- Human Resources

Current Departments to remain as is here:

- County Commissioners
- County Manager
- Information Systems/ Computer Resources



MASTER PLANNING

130 WEST INNES STREET – ADMINISTRATION BUILDING

Projected Construction Cost

N/A – Shell Improvements

44,000 – Finance

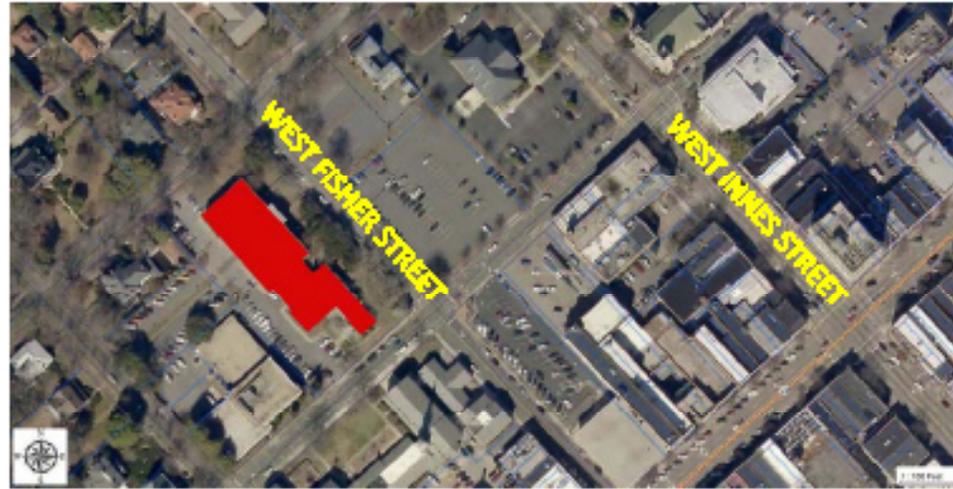
82,000 – Human Resources

126,000 – Sub Total – Shell & Upfit



MASTER PLANNING

201 WEST FISHER STREET - LIBRARY HEADQUARTERS



Current Library Division to be vacated from here:

- Local History and Genealogy

Current Library Divisions to be expanded here:

- Offices/ study rooms/ patron seating/ storage/ kitchen

Projected Construction Cost

N/A – Shell Improvements

268,000 – Library

268,000 – Sub Total – Shell & Upfit



MASTER PLANNING

2727 OLD CONCORD ROAD



Current Departments to be expanded here:

- Emergency Services
 - 7,500sf +/- Addition

Current Departments to remain as is here:

- Cooperative Extension

Current Departments to be vacated from here:

- Veteran Services

Projected Construction Cost

1,245,000 – New Shell Building

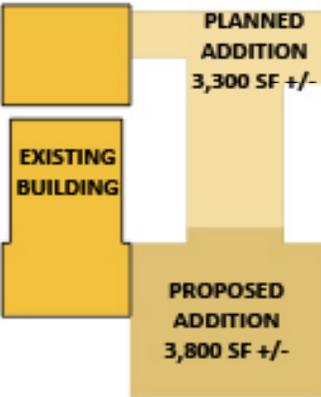
595,000 – Emergency Services

1,840,000 – Sub Total – Shell & Upfit

MASTER PLANNING



1465 JULIAN ROAD – ANIMAL CONTROL



Projected Construction Cost
555,000 – New Shell Building
(Proposed Addition)
92,000 – Animal Control
647,000 – Sub Total – Shell & Upfit



MASTER PLANNING

MASTER PLAN WITH WEST END PLAZA

21,265,000 – West End Plaza (either option)
1,816,000 – 1811/ 1813 East Innes Street
783,000 – 402 North Main Street
684,000 – 232 North Main Street
24,000 – 210 North Main Street
73,000 – 310 North Main Street
57,000 – 118 West Liberty Street (Option 1)
126,000 – 130 West Innes Street
268,000 – 201 West Fisher Street
1,840,000 – 2727 Old Concord Road
647,000 – 1465 Julian Road

27,583,000 – Total – With West End Plaza



PROJECTED CONSTRUCTION COST

I. Current Department Locations

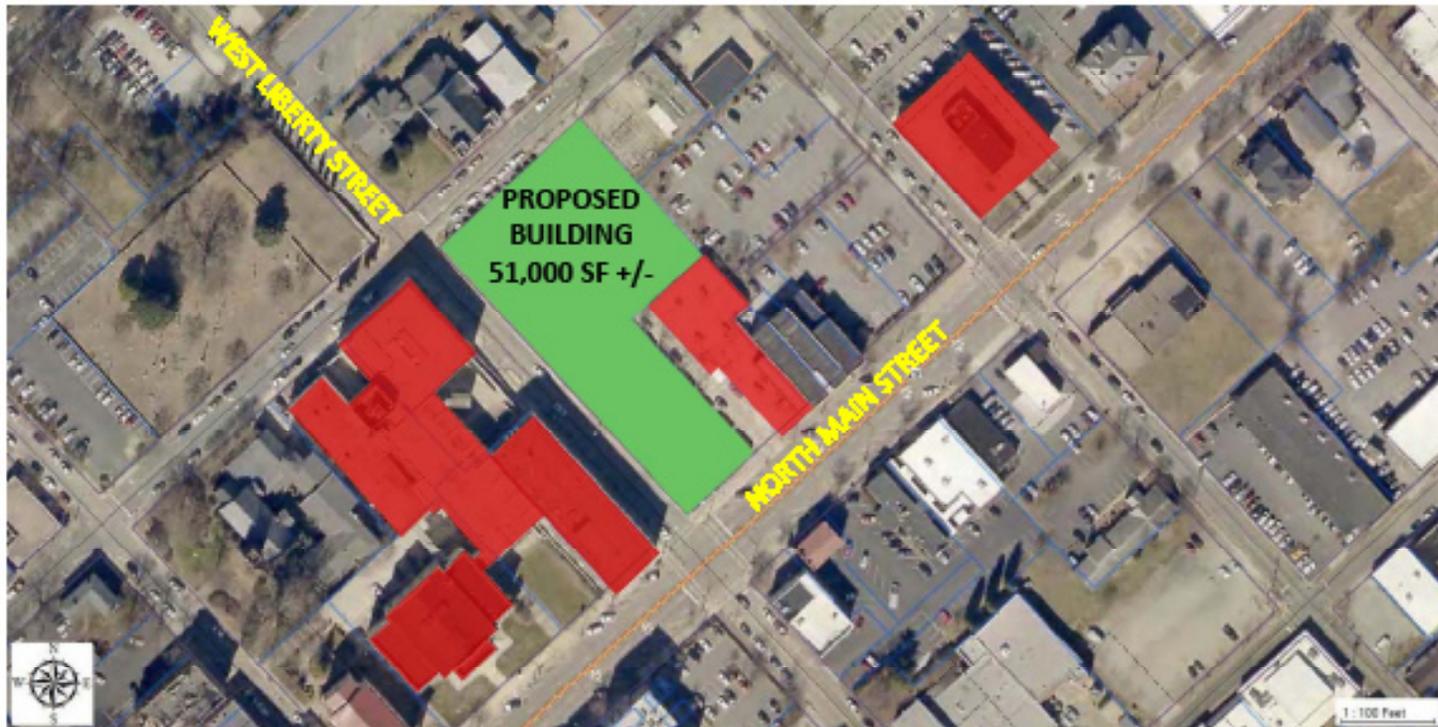
II. Master Plan Options

A. With West End Plaza

B. Without West End Plaza



WEST LIBERTY STREET



Departments to be relocated and Facilities in proposed new building:

- Sheriff's Office - 29,200 sf (15-yr projected growth)
- Probation – 19,000 sf (15-yr projected growth)
- Magistrate – 2,800 sf (15-yr projected growth)
- Structured parking and over-street bridge



MASTER PLANNING

WEST LIBERTY STREET

Projected Construction Cost

10,710,000 – New Shell Building (includes MEP)

29,000 – Demolish 118 West Liberty

1,082,000 – Sheriff's Office

927,000 – Probation

222,000 – Magistrate

10,980,000 – Structured Parking (300 spaces)

2 levels (1 below grade/ 1 above grade)

2,000,000 – Over-street Bridge

25,950,000 – Sub Total

New Building – West Liberty Street



MASTER PLANNING

402 NORTH MAIN STREET



Current Departments to remain here
with spaces reallocated:

- Building Code Enforcement
- Environmental Health
- Planning and Development
- Register of Deeds
- Tax Administration

Projected Construction Cost

427,000 – Sub Total - Shell Improvements

MASTER PLANNING



232 NORTH MAIN STREET



MASTER PLANNING

232 NORTH MAIN STREET

Current Departments to remain here:

- 1st Floor
 - None
- 2nd Floor
 - District Court Judges
- 3rd Floor
 - Courtrooms and support spaces

Current Department to be vacated from here:

- All Floors
 - Sheriff's Office

Current Departments to be relocated within building:

- District Attorney
 - 2nd Floor to 3rd Floor
- Superior Court Judge
 - 3rd Floor to 2nd Floor

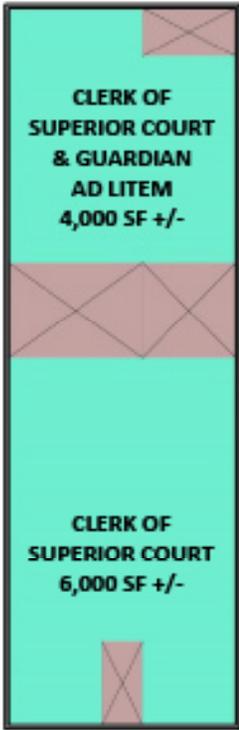
Departments from other locations to be relocated here:

- 1st Floor
 - Clerk of Superior Court – Civil/ Criminal Divisions expansion
 - Guardian ad Litem
- 2nd Floor
 - District Court Judges
 - Judges not already located here
 - 911 Backup Center

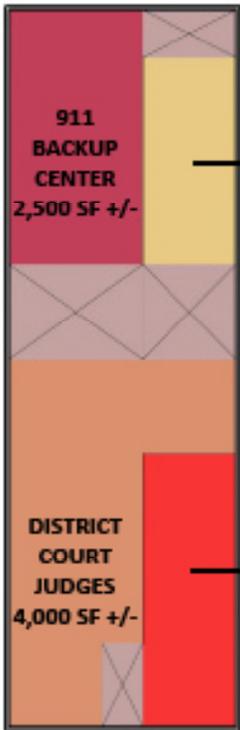


MASTER PLANNING

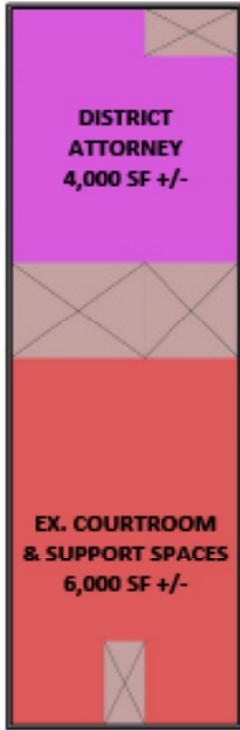
232 NORTH MAIN STREET



1ST FLOOR



2ND FLOOR



3RD FLOOR



MASTER PLANNING

232 NORTH MAIN STREET

Projected Construction Cost

N/A – Shell Improvements
342,000 – Clerk of Superior Court
40,000 – 911 Backup Center
81,000 – Superior Court Judge
161,000 – District Attorney

624,000 – Sub Total – Shell & Upfit



MASTER PLANNING

210 NORTH MAIN STREET



MASTER PLANNING

210 NORTH MAIN STREET

Current Departments or Clerk of Superior Court Divisions to remain here:

- Basement Level
 - Storage
- 1st Floor
 - Civil Division
 - Criminal Division
 - Cashier/ Bookkeeping
- 2nd Floor
 - Superior Courtroom and support spaces
 - Jury Pool Room
- 3rd Floor
 - Courtroom
 - Juvenile Services

Current Departments or Clerk of Superior Court Divisions to be vacated from here:

- 1st Floor
 - Estates Division
- 2nd Floor
 - District Court Judge
- 3rd Floor
 - Adult Probation/ Community Service

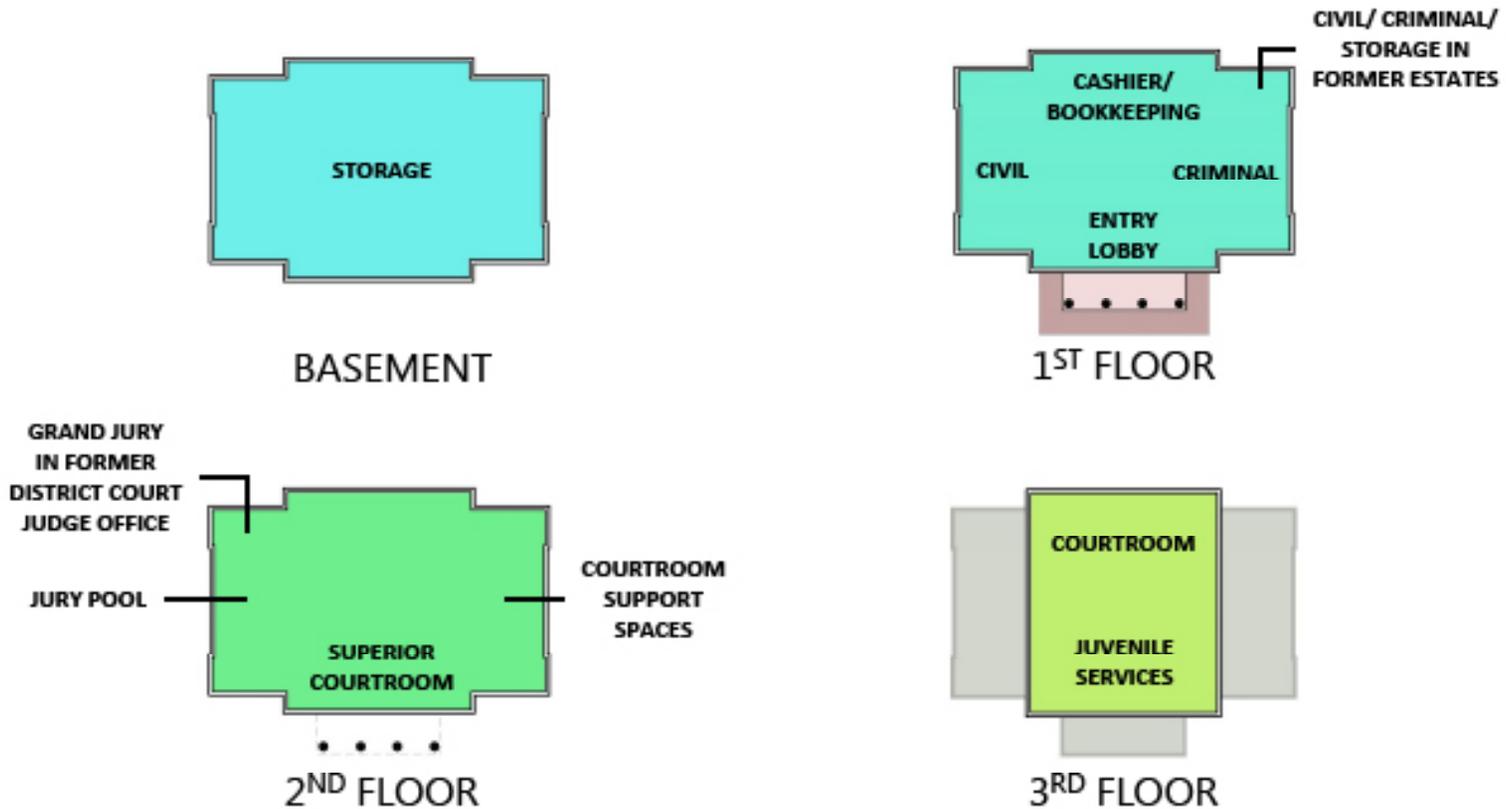
Clerk of Superior Court Divisions to be expanded here:

- 1st Floor
 - Civil/ Criminal Divisions or Storage
- 2nd Floor
 - Grand Jury Room
- 3rd Floor
 - Juvenile Services



MASTER PLANNING

210 NORTH MAIN STREET



Projected Construction Cost

24,000 – Sub Total - Shell Improvements



MASTER PLANNING

1811/ 1813 EAST INNES STREET



Current Department to be vacated from here:

- Health

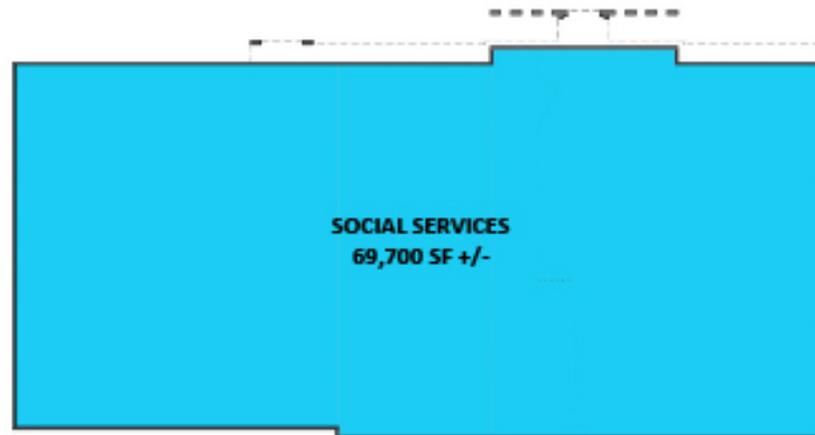
Current Department to be expanded here:

- Social Services



MASTER PLANNING

1811/1813 EAST INNES STREET



15 Year Projected Growth
63,000sf – Social Services

Projected Construction Cost
234,000 – Shell Improvements
996,000 – Social Services

1,230,000 – Sub Total – Shell & Upfit



MASTER PLANNING

1236 WEST INNES STREET



Departments to be relocated here:

- Health
 - Demolish existing building
 - Construct new 30,000 sf facility
 - Based on 15-yr projected growth

Projected Construction Cost

915,000 – Site/ Demo Existing Building
5,700,000 – New Shell Building
2,050,000 - Health

8,665,000 – Sub Total – Shell & Upfit

MASTER PLANNING



310 NORTH MAIN STREET



Current Departments to remain here:

- None

Current Departments to be vacated from here:

- Guardian ad Litem
- Probation

Departments to be relocated here:

- Board of Elections



MASTER PLANNING

310 NORTH MAIN STREET – CRAWFORD BUILDING

Projected Construction Cost

N/A – Shell Improvements

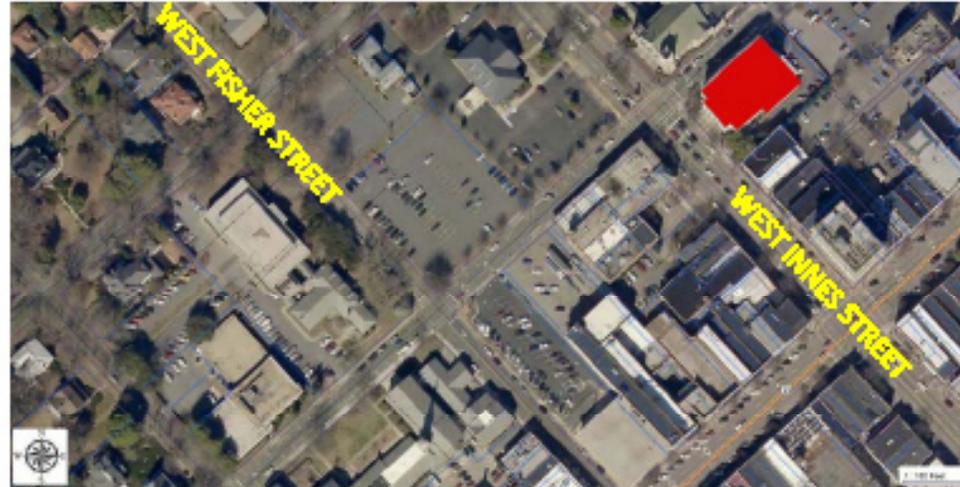
567,000 – Board of Elections

567,000 – Sub Total – Shell & Upfit



MASTER PLANNING

130 WEST INNES STREET – ADMINISTRATION BUILDING



Current Departments to be vacated from here:

- Board of Elections

Current Departments to be expanded here:

- Finance
- Human Resources

Current Departments to remain as is here:

- County Commissioners
- County Manager
- Information Systems/ Computer Resources



MASTER PLANNING

130 WEST INNES STREET – ADMINISTRATION BUILDING

Projected Construction Cost

N/A – Shell Improvements
44,000 – Finance
82,000 – Human Resources

126,000 – Sub Total – Shell & Upfit



MASTER PLANNING

201 WEST FISHER STREET - LIBRARY HEADQUARTERS

Library Division to be vacated from here:

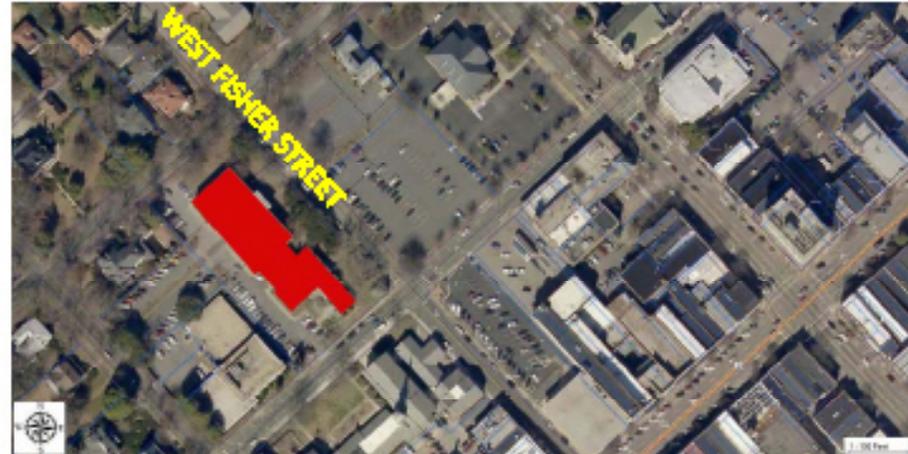
- Local History and Genealogy

Projected Construction Cost

N/A – Shell Improvements

268,000 – Library

268,000 – Sub Total – Shell & Upfit



165 Mahaley Avenue:

Library Division to be relocated here:

- Local History and Genealogy

Projected Construction Cost

427,000 – Shell Improvements

634,000 – Local History and
Genealogy

1,061,000 – Sub Total – Shell & Upfit



MASTER PLANNING

2727 OLD CONCORD ROAD



Current Departments to be expanded here:

- Emergency Services
 - 7,500sf +/- Addition

Current Departments to remain as is here:

- Cooperative Extension
- Veteran Services

Projected Construction Cost

1,245,000 – New Shell Building

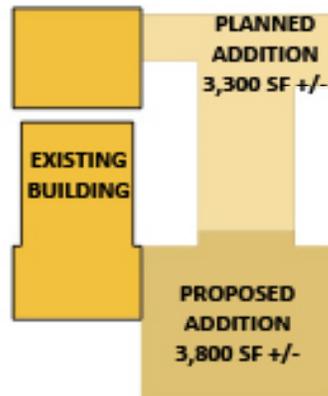
595,000 – Emergency Services

1,840,000 – Sub Total – Shell & Upfit

MASTER PLANNING



1465 JULIAN ROAD – ANIMAL CONTROL



Projected Construction Cost
555,000 – New Shell Building
(Proposed Addition)
92,000 – Animal Control
647,000 – Sub Total – Shell & Upfit



MASTER PLANNING

MASTER PLAN WITHOUT WEST END PLAZA

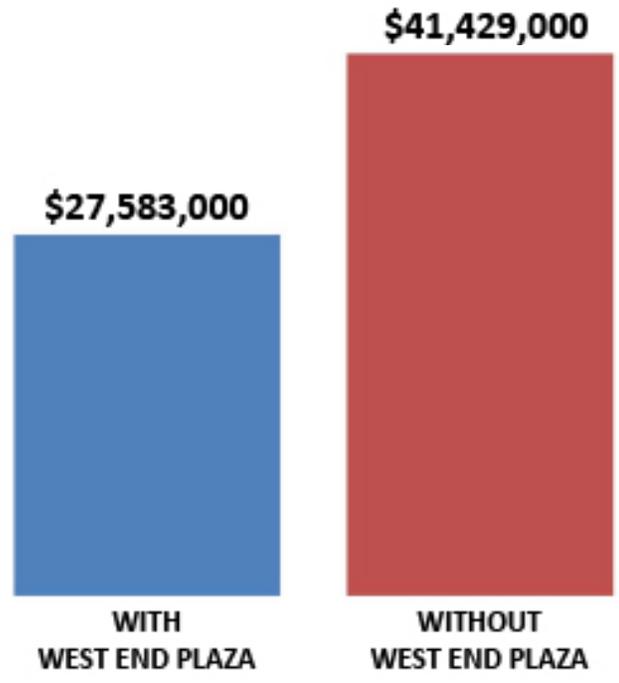
25,950,000 – New Building - West Liberty Street
427,000 – 402 North Main Street
624,000 – 232 North Main Street
24,000 – 210 North Main Street
1,230,000 – 1811/ 1813 East Innes Street
8,665,000 – New Building – 1236 West Innes Street
567,000 – 310 North Main Street
126,000 – 130 West Innes Street
1,061,000 – 165 Mahaley Avenue
268,000 – 201 West Fisher Street
1,840,000 – 2727 Old Concord Road
647,000 – 1465 Julian Road

41,429,000 – Total – Without West End Plaza



PROJECTED CONSTRUCTION COST

MASTER PLAN OPTIONS



Projected Construction Cost does not include the following:
Flex spaces
FF&E
A&E fees
Land acquisition
Move expenses
Escalation
Value of property not used in master planning

PROJECTED CONSTRUCTION COST

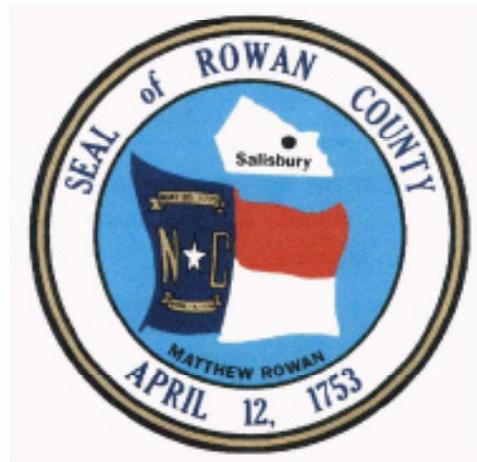


FACILITIES MASTER PLAN

Provided for

Rowan County

April 2015



Prepared by

adwarchitects
environmentsforlife

architecture planning interiors

101 West Worthington Avenue
Suite 270
Charlotte, NC 28203
ADW Project Number 14032

"Thank you for allowing us to serve you"



2.0_COST ESTIMATE SUMMARY



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ROWAN COUNTY FACILITIES MASTER PLAN
WITH WEST END PLAZA

<u>DEPARTMENTS TO BE RELOCATED</u>	<u>PROJECTED CONSTRUCTION COST</u>
SOCIAL SERVICES	7,757,000
HEALTH	3,932,000
BOARD OF ELECTIONS	1,195,000
BUILDING CODE ENFORCEMENT	418,000
ENVIRONMENTAL HEALTH	306,000
PLANNING AND DEVELOPMENT	550,000
VETERAN SERVICES	208,000
LIBRARY - LOCAL HISTORY AND GENEALOGY	634,000
 <u>OTHER PROPOSED SPACES</u>	
CONFERENCE/PUBLIC ASSEMBLY	4,560,000
FLEX SPACES	TBD
LEASE SPACE FOR RETAIL/RESTAURANT	TBD
 <u>SITE WORK</u>	 1,705,000
 SUB TOTAL - WEST END PLAZA COSTS	 21,265,000
 <u>DEPARTMENT RELOCATIONS TO OTHER BUILDINGS</u>	
1811/1813 EAST INNES STREET	
SHELL IMPROVEMENTS	234,000
SHERIFF'S OFFICE UPFIT	1,582,000
402 NORTH MAIN STREET	
SHELL IMPROVEMENTS	427,000
TAX ADMINISTRATION	117,000
SHERIFF'S OFFICE	239,000
232 NORTH MAIN STREET	
SHELL IMPROVEMENTS	N/A
PROBATION	342,000
911 BACKUP CENTER	40,000
SUPERIOR COURT - ESTATES	60,000
SUPERIOR COURT JUDGE	81,000
DISTRICT ATTORNEY	161,000
210 NORTH MAIN STREET	
SHELL IMPROVEMENTS	24,000

310 NORTH MAIN STREET	
SHELL IMPROVEMENTS	N/A
ADULT PROBATION/COMMUNITY SERVICE	73,000
118 WEST LIBERTY STREET - OPTION A (INCLUDED IN TOTAL BELOW)	
DEMOLISH EXISTING BUILDING	29,000
JAIL ADMIN	28,000
118 WEST LIBERTY STREET - OPTION B (NOT INCLUDED IN TOTAL BELOW)	
DEMOLISH EXISTING BUILDING	29,000
NEW MAGISTRATE BUILDING	598,000
130 WEST INNES STREET	
SHELL IMPROVEMENTS	N/A
FINANCE	44,000
HUMAN RESOURCES	82,000
201 WEST FISHER STREET	
SHELL IMPROVEMENTS	N/A
LIBRARY	268,000
2727 OLD CONCORD ROAD	
NEW SHELL BUILDING	1,245,000
EMERGENCY SERVICES	595,000
1465 JULIAN ROAD	
NEW SHELL BUILDING	555,000
ANIMAL CONTROL	92,000
SUB TOTAL - RELOCATIONS TO OTHER BUILDINGS	6,318,000

TOTAL - WEST END PLAZA OPTION	27,583,000
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ROWAN COUNTY FACILITIES MASTER PLAN**WITHOUT WEST END PLAZA**

NEW BUILDING/RELOCATIONS	PROJECTED CONSTRUCTION COST
NEW BUILDING - WEST LIBERTY STREET (51,000 SF)	
SHELL BUILDING (INCLUDES MECHANICAL, ELECTRICAL, PLUMBING)	10,710,000
DEMOLISH 118 WEST LIBERTY	29,000
SHERIFF'S OFFICE	1,082,000
PROBATION	927,000
MAGISTRATE	222,000
STRUCTURED PARKING	10,980,000
OVER-STREET BRIDGE	2,000,000
TOTAL - WEST LIBERTY STREET NEW BUILDING	25,950,000
402 NORTH MAIN STREET	
SHELL IMPROVEMENTS	427,000
232 NORTH MAIN STREET	
SHELL IMPROVEMENTS	N/A
CLERK OF COURT	342,000
911 BACKUP CENTER	40,000
SUPERIOR COURT JUDGE	81,000
DISTRICT ATTORNEY	161,000
210 NORTH MAIN STREET	
SHELL IMPROVEMENTS	24,000
1811/1813 EAST INNES STREET	
SHELL IMPROVEMENTS	234,000
SOCIAL SERVICES	996,000
NEW BUILDING - 1236 WEST INNES STREET (30,000 SF)	
SITE/DEMO EXISTING BUILDING	915,000
SHELL BUILDING	5,700,000
HEALTH	2,050,000
TOTAL - 1236 WEST INNES STREET NEW BUILDING	8,665,000
310 NORTH MAIN STREET	
SHELL IMPROVEMENTS	N/A
BOARD OF ELECTIONS	567,000
130 WEST INNES STREET	
SHELL IMPROVEMENTS	N/A
FINANCE	44,000
HUMAN RESOURCES	82,000

165 MAHALEY AVENUE	
SHELL IMPROVEMENTS	427,000
HISTORY AND GENEALOGY	634,000
201 WEST FISHER STREET	
SHELL IMPROVEMENTS	N/A
LIBRARY	268,000
2727 OLD CONCORD ROAD	
NEW SHELL BUILDING	1,245,000
EMERGENCY SERVICES	595,000
1465 JULIAN ROAD	
NEW SHELL BUILDING	555,000
ANIMAL CONTROL	92,000

TOTAL - WITHOUT WEST END PLAZA OPTION	41,429,000
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3.0_FACILITY ASSESSMENTS



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architecture

planning

interiors

ROWAN COUNTY – FACILITY ASSESSMENT

1811/ 1813 EAST INNES STREET HEALTH DEPARTMENT DEPARTMENT OF SOCIAL SERVICES

Built in 1970 and addition in 2009
Square footage 71,836

Architectural

1. Exterior Wall Construction:

Type: *masonry*

2. Roof Construction:

Type: *EPDM; Health- black rubber membrane; DSS- white rubber membrane*

Condition: *fair/ excellent*

Approximate Remaining Life: *installed 1999 –HD; installed 2009 -DSS*

Coping: *good*

Flashing: *good*

Drainage: *good*

3. Windows: *double pane*

4. Other Exterior Elements (i.e., stairs, storage sheds, loading docks, etc.):

5. Interior Conditions:

Walls: *good*

Floors: *good*

Ceilings: *good*

Miscellaneous:

6. Accessibility: *ADA*

7. Safety (security, life safety issues, hazardous materials): *fire and security alarm along with external cameras*

Structural

1. Exterior Conditions: *good*
2. Floor Structure: *good*
3. Roof Structure: *good*

Plumbing, Mechanical, and Electrical

1. Plumbing:

Service – Domestic Water: *city*

Service – Sanitary: *city*

Equipment: *see plan*

Fixtures: *see plan*

2. Mechanical:

System Type and Age: *Health Dept. has 7 gas pack units; DSS has 19 gas pack units*

Approximate Remaining Life: *Health Dept. change out program in process; DSS- 9 were installed in 1999
10 installed in 2009*

3. Electrical:

Service: *1600 AMP*

Equipment: *breaker*

Fixtures: *generator for Health Dept. 150 amp generac installed in 2003
Generator for DSS is to be installed in 2015 budget*

ROWAN COUNTY – FACILITY ASSESSMENT

402 NORTH MAIN STREET BUILDING CODE ENFORCEMENT PLANNING AND DEVELOPMENT REGISTER OF DEEDS TAX ADMINISTRATION

Built in 1977
Square footage 25,168

Architectural

1. Exterior Wall Construction:

Type: *precast masonry*

2. Roof Construction:

Type: *rubber ballast roof*

Condition: *poor*

Approximate Remaining Life: *less than 5 years*

Coping: *poor*

Flashing: *poor*

Drainage: *poor*

3. Windows: *thermal pane*

4. Other Exterior Elements (i.e., stairs, storage sheds, loading docks, etc.): *none*

5. Interior Conditions:

Walls: *good*

Floors: *good*

Ceilings: *good*

Miscellaneous:

6. Accessibility: *ADA plus one elevator*

7. **Safety (security, life safety issues, hazardous materials):** *fire, alarm system with cameras in Tax Collector's Office and Register of Deeds*

Structural

1. **Exterior Conditions:** *Good*
2. **Floor Structure:** *Good*
3. **Roof Structure:** *Good*

Plumbing, Mechanical, and Electrical

1. Plumbing:

Service – Domestic Water: *City*

Service – Sanitary: *City*

Equipment: *see plan*

Fixtures: *see plan*

2. Mechanical:

System Type and Age: *2 units – 1 is 15 years old straight AC, 1 unit is due for replacement in the 2015 budget year 1 air handler which is original 1977 liner and diffuser controls are obsolete base board electric heat*

Approximate Remaining Life: *straight AC has remaining life of 10 years*

3. Electrical:

Service:

Equipment:

Fixtures:

ROWAN COUNTY – FACILITY ASSESSMENT

232 NORTH MAIN STREET **DISTRICT ATTORNEY** **DISTRICT COURT JUDGES** **SENIOR RESIDENT SUPERIOR COURT JUDGE** **SHERIFF'S OFFICE**

Built in 1913; remodeled 1995- 3rd floor 2009
Square footage 47,736

Architectural

1. Exterior Wall Construction:

Type: *masonry/ precast*

2. Roof Construction:

Type: *Rubber roll roofing*

Condition: *poor*

Approximate Remaining Life: *Replacing as of February 2015*

Coping: *excellent*

Flashing: *good*

Drainage: *good*

3. Windows: *thermal*

4. Other Exterior Elements (i.e., stairs, storage sheds, loading docks, etc.): *3 set of stairs, 1 elevator*

5. Interior Conditions:

Walls: *good*

Floors: *good*

Ceilings: *good*

Miscellaneous:

6. Accessibility: *ADA with 1 elevator*

7. Safety (security, life safety issues, hazardous materials): *fire*

Structural

1. Exterior Conditions: *good*
2. Floor Structure: *good*
3. Roof Structure: *good*

Plumbing, Mechanical, and Electrical

1. Plumbing:

Service – Domestic Water: *City*

Service – Sanitary: *City*

Equipment: *See plan*

Fixtures: *See plan*

2. Mechanical:

System Type and Age: *chiller water, boiler heat, VAV (20 original) 2 air handler 1995 – 1 air handler 2009*

Approximate Remaining Life: *installed 1995*

3. Electrical:

Service: *See plan*

Equipment: *See plan*

Fixtures: *See plan*

ROWAN COUNTY – FACILITY ASSESSMENT

210 NORTH MAIN STREET CLERK OF SUPERIOR COURT COURTHOUSE PROBATION

Built in 1913
Square footage

Architectural

1. Exterior Wall Construction:

Type: *granite/ rock*

2. Roof Construction:

Type: *rubber no ballast*

Condition: *good*

Approximate Remaining Life: *20 years old*

Coping: *good*

Flashing: *good*

Drainage: *good*

3. Windows: *single pane*

4. Other Exterior Elements (i.e., stairs, storage sheds, loading docks, etc.): *2 sets of exterior stairs and 1 elevator*

5. Interior Conditions:

Walls: *good*

Floors: *good*

Ceilings: *Good*

Miscellaneous:

6. Accessibility: *ADA through Justice Center*

7. Safety (security, life safety issues, hazardous materials): *fire*

Structural

1. Exterior Conditions: *good*
2. Floor Structure: *good*
3. Roof Structure: *good*

Plumbing, Mechanical, and Electrical

1. Plumbing:

Service – Domestic Water: *City*

Service – Sanitary: *City*

Equipment: *first floor: 5 toilets, 1 urinal, 5 lavatories, 1 utility sink; second floor: 14 toilets, 3 urinals, 13 lavatories, 1 utility sink; 3rd floor: 8 toilets, 2 urinals, 9 lavatories, 1 utility sink; basement: 4 toilets, 1 urinal, 3 lavatories, 1 utility sink*

Fixtures:

2. Mechanical:

System Type and Age: *Chill water/ boiler heat, 3 air handlers and fan coil units (35 years old)*

Approximate Remaining Life: *chiller is 20 years old/ boiler is 10 year old*

3. Electrical:

Service: *800 amps*

Equipment:

Fixtures:

ROWAN COUNTY – FACILITY ASSESSMENT

310 NORTH MAIN STREET GUARDIAN AD LITEM PROBATION

Built in 1930; remodeled 1995
Square Footage 12,000

Architectural

1. Exterior Wall Construction:

Type: *Masonry*

2. Roof Construction:

Type: *rubber white roof*

Condition: *Good*

Approximate Remaining Life: *roof installed 5 years ago*

Coping: *Good*

Flashing: *Good*

Drainage: *Fair*

3. Windows: *thermal pane*

4. Other Exterior Elements (i.e., stairs, storage sheds, loading docks, etc.): *none*

5. Interior Conditions:

Walls: *Good*

Floors: *Good*

Ceilings: *Good*

Miscellaneous:

6. Accessibility: *ADA*

7. Safety (security, life safety issues, hazardous materials): *none*

Structural

1. Exterior Conditions: *Good*
2. Floor Structure: *Good*
3. Roof Structure: *Good*

Plumbing, Mechanical, and Electrical

1. Plumbing:

Service – Domestic Water: *City*

Service – Sanitary: *City*

Equipment:

Fixtures: *5 unisex toilets; 5 lavatories, 1 kitchen sink – good condition*

2. Mechanical:

System Type and Age: *3 gas packs, 3 package heat pumps, 1 split heat pump, 1 split AC and gas furnace*

Approximate Remaining Life: *good*

3. Electrical:

Service: *400 amps*

Equipment:

Fixtures:

ROWAN COUNTY – FACILITY ASSESSMENT

118 WEST LIBERTY STREET MAGISTRATE

Built in 1954; Remodeled in the mid 2000s
Square Footage 1,584

Architectural

1. Exterior Wall Construction:

Type: *Masonry*

2. Roof Construction:

Type: *Tar and Gravel*

Condition: *Poor*

Approximate Remaining Life: *less than 5 years*

Coping: *Poor*

Flashing: *Poor*

Drainage: *Poor*

3. Windows: *single pane metal frame*

4. Other Exterior Elements (i.e., stairs, storage sheds, loading docks, etc.):

5. Interior Conditions:

Walls: *Good*

Floors: *Good*

Ceilings: *Good*

Miscellaneous:

6. Accessibility: *ADA*

7. Safety (security, life safety issues, hazardous materials): *secured fenced processing area with electric gate, cameras, key pads entry and fire protection*

Structural

1. Exterior Conditions: *Good*
2. Floor Structure: *Good*
3. Roof Structure: *Good*

Plumbing, Mechanical, and Electrical

1. Plumbing:

Service – Domestic Water: *City*

Service – Sanitary: *City*

Equipment: *staff unisex restroom with sink processing area unisex restroom with toilet only*

Fixtures: *1 sink*

2. Mechanical:

System Type and Age: *1 heat pump 10 years old*

Approximate Remaining Life: *5 years of life left*

3. Electrical:

Service: *200 AMP – See Plan*

Equipment: *breaker – See Plan*

Fixtures: *See Plan*

ROWAN COUNTY – FACILITY ASSESSMENT

130 WEST INNES STREET

BOARD OF ELECTIONS

FINANCE

HUMAN RESOURCES

COUNTY MANAGER'S OFFICE AND COMMISSIONERS' OFFICES

INFORMATION SYSTEMS/ COMPUTER RESOURCES

*Build in 1908 Remodeled 1990s
Square Footage 45,050*

Architectural

1. Exterior Wall Construction:

Type: *Granite Masonry*

2. Roof Construction:

Type: *Top roll paper / lower level white rubber*

Condition: *Good*

Approximate Remaining Life: *1990/ 25 year old roof*

Coping: *Good*

Flashing: *Good*

Drainage: *Good*

3. Windows: *single pane storm*

4. Other Exterior Elements (i.e., stairs, storage sheds, loading docks, etc.): *loading dock in back of building, lower level steps in rear to basement, steps on east and west side of building with ADA access ramps, steps in front of building, 1 elevator that was modernized 3 years ago, 3 interior stairwells*

5. Interior Conditions:

Walls: *Good*

Floors: *Good*

Ceilings: *Good*

Miscellaneous:

6. **Accessibility:** *ADA ramps on east and west side of building, elevator*
7. **Safety (security, life safety issues, hazardous materials):** *fire and interior cameras*

Structural

1. **Exterior Conditions:** *Good*
2. **Floor Structure:** *Good*
3. **Roof Structure:** *Good*

Plumbing, Mechanical, and Electrical

1. Plumbing:

Service – Domestic Water: *City*

Service – Sanitary: *City*

Equipment: *See plan*

Fixtures: *See plan*

2. Mechanical:

System Type and Age: *Roof top package AC, gas boiler and VAV, 3 split AC units for IT server room (2 original early 1990s, 1 is 2 years old)*

Approximate Remaining Life: *10 years plus*

3. Electrical:

Service: *800 amp*

Equipment: *generator gas pack purchased used in 2002*

Fixtures: *See plan*

ROWAN COUNTY – FACILITY ASSESSMENT

201 WEST FISHER STREET LIBRARY HEADQUARTERS

Architectural

1. Exterior Wall Construction:

Type: *Masonry*

2. Roof Construction:

Type: *¾ new roof/ balance EPDM*

Condition: *Good*

Approximate Remaining Life:

Coping: *Good*

Flashing: *Good*

Drainage: *Good*

3. Windows: *Thermal Pane*

4. Other Exterior Elements (i.e., stairs, storage sheds, loading docks, etc.):

5. Interior Conditions:

Walls: *Good*

Floors: *Good*

Ceilings: *Good*

Miscellaneous:

6. Accessibility: *ADA and 1 elevator*

7. Safety (security, life safety issues, hazardous materials): *fire, security and cameras*

Structural

1. Exterior Conditions: *Good*
2. Floor Structure: *Good*
3. Roof Structure: *Good*

Plumbing, Mechanical, and Electrical

1. Plumbing:

Service – Domestic Water: *City*

Service – Sanitary: *City*

Equipment: *See plan*

Fixtures: *See plan*

2. Mechanical:

System Type and Age: *Chiller is in good condition; with gas boiler, VAV/ fan coil unit*

Approximate Remaining Life: *all original 1990*

3. Electrical:

Service: *See plan*

Equipment: *See plan; gas generator*

Fixtures: *See plan*

ROWAN COUNTY – FACILITY ASSESSMENT

2727 OLD CONCORD ROAD COOPERATIVE EXTENSION EMERGENCY SERVICES

Built in 1987
Square footage 34,926

Architectural

1. Exterior Wall Construction:

Type: *masonry*

2. Roof Construction:

Type: *metal and rubber with ballast*

Condition: *metal good- rubber poor*

Approximate Remaining Life: *less than 5 on rubber ballast/ 30 on metal*

Coping: *good*

Flashing: *good*

Drainage: *good*

3. Windows: *thermal*

4. Other Exterior Elements (i.e., stairs, storage sheds, loading docks, etc.): *loading dock, side steps and ramp on north side, 1 set of interior steps, green house, 1 shelter, small storage shed*

5. Interior Conditions:

Walls: *good*

Floors: *good*

Ceilings: *good*

Miscellaneous: *good*

6. Accessibility: *ADA*

7. Safety (security, life safety issues, hazardous materials): *fire*

Structural

1. Exterior Conditions: *good*
2. Floor Structure: *good*
3. Roof Structure: *good*

Plumbing, Mechanical, and Electrical

1. Plumbing:

Service – Domestic Water: *city and well*

Service – Sanitary: *city*

Equipment:

Fixtures: *1st floor: 1 private unisex with 1 lavatory and 1 toilet, 2 ladies with 3 lavatories and 3 toilets, 1 men's with 3 urinal 2 lavatories and 2 toilets, 4 sinks 2nd floor: 2 kitchen sinks, 1 private unisex with 1 toilet and lavatory, 1 shower 2 lavatories 1 toilet (ladies); 1 men's with 1 toilet, 1 urinal, 1 lavatory and 1 shower; 2 utility sinks (1 upstairs and 1 downstairs)*

2. Mechanical:

System Type and Age: *1 new roof top packaged AC installed 2014, dual fuel boiler gas and fuel oil, VAV controls and 1 original air handler for downstairs, 1 split AC downstairs*

Approximate Remaining Life: *AC downstairs is 10 years*

3. Electrical:

Service:

Equipment:

Fixtures:

Generator installed when building was built in 1987

ROWAN COUNTY – FACILITY ASSESSMENT

1465 JULIAN ROAD ANIMAL CONTROL

Built in 1995
Square footage 5,000

Architectural

1. Exterior Wall Construction:

Type: *metal*

2. Roof Construction:

Type: *metal*

Condition: *good*

Approximate Remaining Life: *20 years*

Coping: *good*

Flashing: *good*

Drainage: *good*

3. Windows: *double pane*

4. Other Exterior Elements (i.e., stairs, storage sheds, loading docks, etc.): *wooden barn, metal shed and wooden shed*

5. Interior Conditions:

Walls: *good*

Floors: *good*

Ceilings: *good*

Miscellaneous:

6. Accessibility: *ADA*

7. Safety (security, life safety issues, hazardous materials): *fire, security and cameras, electric gate, fenced in area*

Structural

1. **Exterior Conditions:** *good*
2. **Floor Structure:** *concrete floor in good condition*
3. **Roof Structure:** *see plan*

Plumbing, Mechanical, and Electrical

1. Plumbing:

Service – Domestic Water: *well*

Service – Sanitary: *city*

Equipment: *see plan*

Fixtures: *see plan*

2. Mechanical:

System Type and Age: *gas furnace with AC, 2 gas unit heater for back area; 1 gas boiler for floor heating*

Approximate Remaining Life: *AC is new, replace in 2014; 2 gas heaters are 20 years old; 1 gas boiler 20 years of age*

3. Electrical:

Service: *AMP 400*

Equipment: *see plan*

Fixtures: *see plan*

ROWAN COUNTY – FACILITY ASSESSMENT

1090 CORPORATE CENTER DRIVE 911 TELECOMMUNICATIONS

Built in 2013

Square footage 8,840

Architectural

1. Exterior Wall Construction:

Type: *masonry and metal*

2. Roof Construction:

Type: *metal*

Condition: *excellent*

Approximate Remaining Life: *40 years*

Coping: *excellent*

Flashing: *excellent*

Drainage: *excellent*

3. Windows: *thermal pane*

4. Other Exterior Elements (i.e., stairs, storage sheds, loading docks, etc.):

5. Interior Conditions:

Walls: *excellent*

Floors: *excellent*

Ceilings: *excellent*

Miscellaneous:

6. Accessibility: *ADA*

7. Safety (security, life safety issues, hazardous materials): *fire, security and cameras*

Structural

1. Exterior Conditions: *excellent*
2. Floor Structure: *excellent*
3. Roof Structure: *excellent*

Plumbing, Mechanical, and Electrical

1. Plumbing:

Service – Domestic Water: *city*

Service – Sanitary: *city*

Equipment: *see plan*

Fixtures: *see plan*

2. Mechanical:

System Type and Age: *6 systems – see plan*

Approximate Remaining Life: *20 years*

3. Electrical:

Service: *see plan*

Equipment: *see plan*

Fixtures: *see plan*

1 generator and 1 communication tower; both are 2 years old

ROWAN COUNTY – FACILITY ASSESSMENT

2726 OLD CONCORD ROAD ROWAN TRANSIT SYSTEM

Built in 1960 remodeled 1980
Square footage 3,312

Architectural

1. Exterior Wall Construction:

Type: *masonry*

2. Roof Construction:

Type: *single*

Condition: *good*

Approximate Remaining Life: *10 years*

Coping: *good*

Flashing: *good*

Drainage: *good*

3. Windows: *single pane with storm windows*

4. Other Exterior Elements (i.e., stairs, storage sheds, loading docks, etc.): *exterior metal steps to second floor in rear of building*

5. Interior Conditions:

Walls: *fair*

Floors: *fair*

Ceilings: *fair*

Miscellaneous:

6. Accessibility: *ADA 1st floor but not to second floor*

7. Safety (security, life safety issues, hazardous materials): *alarm system, fire and security cameras*

Structural

1. Exterior Conditions: *good*
2. Floor Structure: *good*
3. Roof Structure: *good*

Plumbing, Mechanical, and Electrical

1. Plumbing:

Service – Domestic Water: *city*

Service – Sanitary: *city*

Equipment:

Fixtures: *4 unisex restrooms*

2. Mechanical:

System Type and Age: *gas furnace and AC*

Approximate Remaining Life: *20 plus years old*

3. Electrical:

Service: *200 amp*

Equipment: *breakers*

Fixtures:

LP gas storage refill terminal

ROWAN COUNTY – FACILITY ASSESSMENT

425 AIRPORT ROAD FACILITIES MANAGEMENT

Built in 1998
Square footage 36,002

Architectural

1. Exterior Wall Construction:

Type: *masonry*

2. Roof Construction:

Type: *rubber ballast*

Condition: *poor*

Approximate Remaining Life: *less than 5 years*

Coping: *poor*

Flashing: *poor*

Drainage: *good*

3. Windows: *thermal*

4. Other Exterior Elements (i.e., stairs, storage sheds, loading docks, etc.): *metal shell storage building with new roof, 1 truck loading dock*

5. Interior Conditions:

Walls: *good*

Floors: *good*

Ceilings: *good*

Miscellaneous:

6. Accessibility: *ADA*

7. Safety (security, life safety issues, hazardous materials): *fenced in secured area with electric fence and camera, side fenced in area, fire system*

Structural

1. Exterior Conditions: *good*
2. Floor Structure: *good*
3. Roof Structure: *good*

Plumbing, Mechanical, and Electrical

1. Plumbing:

Service – Domestic Water: *city*

Service – Sanitary: *septic tank poor condition*

Equipment:

Fixtures: *6 toilets, 1 urinal, 9 sinks and 2 showers*

2. Mechanical:

System Type and Age: *1 30 year old gas pack, 2 two year old waste oil furnaces*

Approximate Remaining Life: *replacement for gas pack in 2015 budget*

3. Electrical:

Service: *400 amp*

Equipment: *breaker*

Fixtures: *side and back fenced storage area with remote electric gate*

ROWAN COUNTY – FACILITY ASSESSMENT

165 MAHALEY AVENUE VACANT

Built in 1974/1975
Square Footage 19,500

Architectural

1. Exterior Wall Construction:

Type: *Masonry*

2. Roof Construction:

Type: *shingle*

Condition: *Excellent*

Approximate Remaining Life: *Installed in 2012*

Coping: *Good*

Flashing: *Good*

Drainage: *Good*

3. Windows: *thermal pane*

4. Other Exterior Elements (i.e., stairs, storage sheds, loading docks, etc.): *Two sets of exterior stairs, 1 internal set of stairs, 1 elevator (needs major repair)*

5. Interior Conditions:

Walls: *Good*

Floors: *Good*

Ceilings: *Poor upstairs, fair downstairs*

Miscellaneous:

6. Accessibility: *ADA*

7. Safety (security, life safety issues, hazardous materials): *Fire*

Structural

1. **Exterior Conditions:** *Good*
2. **Floor Structure:** *Good*
3. **Roof Structure:** *Good*

Plumbing, Mechanical, and Electrical

1. Plumbing:

Service – Domestic Water: *City*

Service – Sanitary: *City*

Equipment: *11 lavatories, 11 toilets*

Fixtures: *LADIES DOWNSTAIRS: 2 lavatories, vanity – poor, 2 toilets – good, MENS DOWNSTAIRS: 1 lavatory, 1 toilet, 1 urinal – good, UPSTARIS: 1 utility sink, 2 lavatories, 2 toilets, 1 urinal 1 single compartment sink*

2. Mechanical:

System Type and Age: *Chill water, electric duct heaters, 3 air handlers (original)*

Approximate Remaining Life: *less than 5 years*

3. Electrical:

Service: *800 amps*

Equipment:

Fixtures:

ROWAN COUNTY – FACILITY ASSESSMENT

1236 WEST INNES STREET VACANT

Built in 1960 remodeled 1985
Square footage 28,542

Architectural

1. Exterior Wall Construction:

Type: *masonry*

2. Roof Construction:

Type: *rubber with ballast*

Condition: *poor*

Approximate Remaining Life: *less than 2 years*

Coping: *poor*

Flashing: *poor*

Drainage: *poor*

3. Windows: *thermal and single pane*

4. Other Exterior Elements (i.e., stairs, storage sheds, loading docks, etc.): *5 sets of exterior stairs*

5. Interior Conditions:

Walls: *fair*

Floors: *fair*

Ceilings: *fair*

Miscellaneous:

6. Accessibility: *ADA; from several entrance points, 1 elevator*

7. Safety (security, life safety issues, hazardous materials): *fire protection*

Structural

1. Exterior Conditions: *fair*
2. Floor Structure: *fair*
3. Roof Structure: *fair*

Plumbing, Mechanical, and Electrical

1. Plumbing:

Service – Domestic Water: *city*

Service – Sanitary: *city*

Equipment:

Fixtures: *14 toilets, 2 urinals, 14 lavatories, 3 utility sinks, 1 bar sink (first floor)*

2. Mechanical:

System Type and Age: *chill water and gas boiler; 17 air handlers and fan coils*

Approximate Remaining Life: *chill water 15 years of age, boiler 25 plus years and air handler 25plus years*

3. Electrical:

Service:

Equipment:

Fixtures:

ROWAN COUNTY – FACILITY ASSESSMENT

102 NORTH CENTRAL AVENUE – LANDIS SHERIFF'S SATELLITE OFFICE

Built in 1918

Square Footage 4,800

Architectural

1. Exterior Wall Construction:

Type: *Masonry*

2. Roof Construction:

Type: *white rubber roof*

Condition: *Good*

Approximate Remaining Life: *less than 10 years old*

Coping: *Good*

Flashing: *Good*

Drainage: *Good*

3. Windows: *single pane*

4. Other Exterior Elements (i.e., stairs, storage sheds, loading docks, etc.):

5. Interior Conditions:

Walls: *Good*

Floors: *Good*

Ceilings: *Good*

Miscellaneous:

6. Accessibility: *ADA*

7. Safety (security, life safety issues, hazardous materials): *fire and cameras*

Structural

1. Exterior Conditions: *Good*
2. Floor Structure: *Good*
3. Roof Structure: *Good*

Plumbing, Mechanical, and Electrical

1. Plumbing:

Service – Domestic Water: *City*

Service – Sanitary: *City*

Equipment: *See Plan 2 restrooms*

Fixtures: *See Plan 2 toilets and sinks*

2. Mechanical:

System Type and Age: *12 year package heat pump*

Approximate Remaining Life: *less than 10 years old*

3. Electrical:

Service: *See Plan*

Equipment: *See Plan*

Fixtures: *See Plan*

ROWAN COUNTY – FACILITY ASSESSMENT

110 BROAD STREET – ROCKWELL EAST BRANCH LIBRARY

Built in 1986
Square Footage 7,488

Architectural

1. Exterior Wall Construction:

Type: *Masonry*

2. Roof Construction:

Type: *shingle*

Condition: *good*

Approximate Remaining Life: *greater than 15 years*

Coping: *good*

Flashing: *good*

Drainage: *good*

3. Windows: *thermal pane*

4. Other Exterior Elements (i.e., stairs, storage sheds, loading docks, etc.):

5. Interior Conditions:

Walls: *good*

Floors: *good*

Ceilings: *good*

Miscellaneous:

6. Accessibility: *ADA*

7. Safety (security, life safety issues, hazardous materials):

Structural

1. **Exterior Conditions:** *good*
2. **Floor Structure:** *good*
3. **Roof Structure:** *good*

Plumbing, Mechanical, and Electrical

1. Plumbing:

Service – Domestic Water: *City*

Service – Sanitary: *City*

Equipment: *See Plan*

Fixtures: *See Plan*

2. Mechanical:

System Type and Age: *2 split AC units with gas furnaces*

Approximate Remaining Life: *original to building*

3. Electrical:

Service: *See Plan*

Equipment: *See Plan*

Fixtures: *See Plan*



4.0_WEST END PLAZA STRUCTURAL ANALYSIS REPORT



adwarchitects
environmentsforlife

architecture

planning

interiors

April 19, 2015
Project No. FH156822

Mr. Robert J. Lauer Jr., AIA
Managing Principal
ADW Architects
101 W. Worthington Avenue, Suite 270
Charlotte, North Carolina 28203

Subject: Consulting Engineering Services
Rowan Counties Facilities Assessment for West End Plaza
Salisbury, North Carolina

Dear Mr. Lauer:

As requested, a structural evaluation of the West End Plaza facility at 1935 Jake Alexander Boulevard West in Salisbury, North Carolina was performed on March 24 through March 27, 2015 by Mr. Kurt Vilella, EI with Terracon Consultants, Inc.

Our point of contact was Mr. Don Bringle, Building, Grounds and Parks Director for the Rowan County Parks and Recreation Department. Mr. Bringle arranged for access for our personnel to the facility, provided structural and architectural drawings from the original construction of the facility, and assisted in coordination of facilities staff to assist our personnel when required during the assessment.

OBJECTIVE

The objective of the assessment was to identify and determine the existing condition of the main structural components of the facility, identify areas of damage or distress, and recommend further investigation, analysis and repair if required based on the visual assessment. Limited sampling and testing of existing materials for asbestos was also required to allow Terracon personnel to perform destructive openings as part of the structural assessment. The executive summary provided below outlines the general condition of the main structural systems and repair schemes that may be required for any observed deficiencies. A more detailed report of individual deficiencies and discussion of recommendations can be found in the sections following the summary.

EXECUTIVE SUMMARY

The main structural systems observed at the West End Plaza are in good condition. No evidence of significant corrosion, excessive deflections, warping, broken connections, etc. that may be indicative of systematic deficiencies associated with the design or construction of the facility was observed. In general, the loads for this class of structure are relatively low and the structural systems and details observed are consistent with the expected structural demand.

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Observed cracks in masonry bearing walls from the interior in the former JC Penney store warrant further evaluation to determine the as built conditions at this location, the cause of the observed distress and an appropriate repair plan. Depending on the findings of this additional investigation, repairs may include selective rebuilding of the masonry walls, the addition of reinforcing steel and grout, and/or crack injection. Minor deficiencies noted in the constructed detailing of the structural systems such as missing edge angles and stabilization welds and plates should be repaired at the time of the planned renovation work.

Conditions observed from the exterior of the facility such as failed sealant joints, failed coatings and cracking in the brick veneer and masonry walls will require repairs to arrest further deterioration. Sealant joints in both systems are globally failed. Depending on the type and quality of sealant material used, the service life of these joints can range from 10-20 years. Similarly, coatings applied to exposed masonry walls have a service life that will require replacement at regular intervals. Cracking in the exterior masonry systems may be related to differential settlement of the shallow foundations as well as grouting/reinforcing conditions at openings and under bearing seats for steel joists. Further evaluation of the observed distress at the northwest and southwest corners of the facility is warranted to determine if settlement has occurred. Repair measures employed at these conditions should include replacement of control joints, selective tuck pointing, isolated rebuilding of masonry walls and replacement of the protective coating on exposed CMU walls. Additionally, depending on the findings at the noted corners of the facility, underpinning of the shallow foundations may also be required.

Failure of the coating and flashings at the structural concrete canopy systems at the former Belk store entrances has accelerated the deterioration of the concrete elements. Shallow delaminations and spalling were observed at various locations. Flashings of the canopy systems should be replaced to shed water away from the structural concrete. Additionally, the existing coating should be removed to allow for patching repairs at the delaminated and spalled areas before installation of a new protective system.

Deficiencies noted in the roofing system will contribute to accelerated corrosion of the supporting steel structure if not addressed. Terracon understands that as part of the planned renovations a roof replacement will occur. Additionally the structural elements of the screen wall on the roof of the former Belk store are in poor condition. Significant corrosion of these elements and their connections has occurred due to the insufficient protection of the steel from the exterior elements. The screen wall system should be entirely replaced.

The scope of Terracon's services for this evaluation were limited in nature and intended to provide a general condition assessment. Measurements of individual members, spacings, bolt/weld sizes, slab thicknesses, etc. were beyond the scope of this evaluation and not taken. Conditions noted herein were based on limited observations. Not all areas of the facility were observed. Therefore, it should be understood that conditions exist which were not observed and which may not be consistent with the findings of this report. Any planned renovations should be evaluated for the expected occupancy use and structural demands and compared to that of the original design intent of the existing structure. Increased loadings should be evaluated by a structural engineer to determine if the existing structure is capable of resisting any increase in structural demands.

BACKGROUND AND CONSTRUCTION

The West End Plaza is located at 1935 Jake Alexander Boulevard West in Salisbury, NC. Original construction of the facility was completed in the 1980's. The facility is divided into several large department store areas as well as numerous smaller retail areas. A central open space inside the mall allows for access to the retail areas from the inside. Options to renovate and convert the existing facility into office space for the county are being evaluated by the Owner and ADW Architects. A limited visual assessment of the facility was requested by ADW Architects to determine the general condition of the existing structure to assist in determining the feasibility of planned renovations.

Structural and architectural drawings of the main mall facility as well as the larger department store structures were provided to Terracon for review. Structural systems for the main mall facility are separated by expansion joints from the areas that were formerly occupied by Belk, JC Penney, and the portion of the building from Badcock Furniture to the far south end of the building. Shallow foundations with concrete masonry walls and spread footings at interior columns transfer the building's gravity loads to the soil. Steel joists and joist girders make up the roof framing of the facility and are supported by load bearing masonry walls, and interior tube and wide-flanged section steel columns. Light gauge metal deck spanning the roof joists makes up the roof substrate and serves as the diaphragm to transfer lateral loads to the main lateral load resisting systems of the building. A combination of concentrically braced frames and masonry shear walls make up the lateral force resisting systems of the different portions of the facility. A majority of the facility is one-story with differing roof heights in the retail and main mall portions of the building. The area formerly occupied by Belk includes a small two-story portion that houses various offices and a mechanical room. Structural systems in this area consist of wide-flanged steel beams and columns. A composite metal deck and reinforced concrete slab span the flexural members that support the second level.

GENERAL OBSERVATIONS

Exterior

Terracon performed a visual survey on the exterior and roof of the facility to determine the general condition of the façade and identify damage or distress as it relates to the main structural systems. The following general observations were made:

1. On the west elevation, various distress conditions were noted in the exterior CMU and brick veneer walls. The coating applied to the exterior face of the masonry units was peeling in numerous locations. The coating and portions of the masonry units at locations of roof downspouts are experiencing substantial weathering. Efflorescence and cracking is occurring in the CMU walls at locations of door lintels and various other locations. Sealant at control joints in the masonry walls has failed at most if not all locations, displaying heavy cracking and crazing.
2. At the rear of Big Lots, the concrete knee wall at the loading dock is experiencing shrinkage cracking at regular intervals through the entire wall section. Additionally, complete section loss has occurred at the metal railings at both the knee wall and pedestrian entrance at this location. Similar deterioration has occurred at the knee wall at the rear of the former Belk store.

3. Surface corrosion is occurring in steel lintels at openings where lintels are present.
4. The exterior CMU walls on the west and south elevations of Big Lots are cracking in several locations including at both sides of the south west corner and the field of the wall at the loading dock. Cracking follows a stair-step pattern through the mortar joints, however cracked masonry units were also noted.
5. Locations at the tops of the exterior columns supporting the sidewalk covering on the east elevation are open and exposed to the elements.
6. Complete section loss has occurred at the metal railing at the loading area on the east elevation at the former JC Penney store.
7. Minor cracking in the brick veneer at locations of door lintels is occurring on the east elevations.
8. Joints where the horizontal structural concrete beams intersect the exterior walls at both exterior entrances to the former Belk store are open to the elements.
9. The coatings on the structural concrete elements at the canopy entrances to the former Belk store are experiencing heavy weathering and peeling in several locations. Limited sounding indicated that shallow delaminations are present in the concrete elements at these locations.
10. At the main canopy entrance to the former Belk store on the east elevation, a crack in the brick veneer spans the entire height of the exterior wall.
11. An entire section of the brick veneer between adjacent control joints at the north-west corner of the facility appears to have rotated in the plane of the wall.
12. Various defects are present on the roof including tears/holes in the roofing membrane, corrosion of the metal coping caps and gutters, open laps in coping caps, excessive shrinkage of the EPDM membrane, etc.
13. Structural elements of the screen wall and mechanical equipment support on top of the former Belk store are experiencing moderate to severe corrosion.

Interior

Terracon performed a visual survey on the main structural elements of the facility from the interior to determine the general condition of the structure and identify damage or distress. Structural and architectural drawings provided to Terracon were used to generally verify the as-built conditions match the construction documents. Individual drawing sets referenced for the former Belk store, the former JC Penney store, and the main mall building are dated 9/3/85, 12/17/85, and 6/10/85 respectively.

The following are general observations from the former Belk store:

1. Steel roof deck was attached to the metal joists by puddle welds at varying intervals in general accordance with the construction documents. Screw type fasteners

present at side-lap joints in the steel deck panels. No appreciable corrosion on the underside of the roof deck was observed.

2. Steel joists were fastened to their supporting joist girders and at interior columns by fillet welds at the bearing locations. In general, welds were made at only the top chord of the joists at connections to girders (in the absence of lateral bracing for the bottom chord of the girders). Top and bottom chords of the joists were welded to the bearing support at interior column connections. Top and bottom chord bridging was observed to be consistent throughout the building.
3. Erection bolts and bottom chord stabilizer plates are present at joist girder connections to supporting columns. The top chord bearing and any associated welds at these locations were not accessible to be viewed in this study. Lateral bracing at the girder bottom chords was consistent at mid-span.
4. In general, structural details related to the location of the building expansion joint at column line 5 matched the construction documents. Slotted holes in connections and discontinuity in joist bracing and the roof deck at the joint were observed.
5. Framing at the mezzanine area that supports the second floor was observed to be in general conformance to the construction documents. Beam-to-beam and beam-to-column connections are simple shear connections. The second level floor is comprised of composite metal/concrete deck.
6. The top of the second floor concrete slab at column line D between lines 10 and 11 in the mechanical room is cracking.
7. Wind bracing plate members were noted at column lines B-2 and B-8. Connections of the bracing elements were not accessible due to interior finishes and masonry walls.
8. Distress conditions in the veneer observed from the exterior were not accessible from the inside due to sheathing and other construction materials.

The following are general observations from the former JC Penney store:

1. Steel roof deck is attached to the metal joists by puddle welds at varying intervals generally in conformance with the different zones indicated on the construction documents. Screw type fasteners are present at side-lap joints in the metal deck panels. No appreciable corrosion on the underside of the roof deck was observed.
2. Joists were fastened to their supporting joist girders and at interior columns by welds at the bearing locations. In general, welds were made at only the top chord of the joists at connections to girders. Only the top chord of the joists was welded to the bearing support at interior column connections, detail 4 on 2S4 indicates that the bottom chord should have been welded to the seat angle after the application of the dead load. Top and bottom chord bridging was observed to be consistent throughout the building.

3. Erection bolts and bottom chord stabilizer plates were observed at joist girder connections to supporting columns. The top chord bearing and any associated welds at these locations were not accessible to be viewed in this study. Lateral bracing at the girder bottom chords was not present.
4. Various construction details were used for bracing connections from the spandrel beam back to the roof joists at the head of the storefront entrance system on the east elevation. Additional struts in the joists were not used where miscellaneous steel angle sections were welded back to the roof joists between working points.
5. Minor to moderate efflorescence at joist bearing seats and in the field of the exterior CMU walls is present on the interior in various locations.
6. Details 5 and 9 on 2S4 indicate a continuous angle to be used to attach the roof deck to the masonry walls where joists are parallel with the wall. No continuous angle or other means of continuous attachment of the roof deck to the walls was observed on the north elevation. A continuous angle for attachment of the deck is also indicated on the south elevation but the angle is only provided on portions of this wall.
7. Cracks in the masonry bearing wall of the south elevation from column lines A-C and 0-1 in the storage area are present the full height of the wall. Limited sounding of these walls indicated delaminations in various areas of the masonry face shells but was not conclusive in determining the grouting conditions of the wall.
8. Cracks in the masonry infill wall above the interior entrance to this store from the mall area are present at each side where joists frame into steel columns.

The following are general observations from retail areas C8, B1, E4 and E1 in the main mall structure:

1. Steel roof deck was attached to the metal joists by puddle welds at varying intervals, information pertaining to the required fastening spacing was not easily found on the construction documents. No fasteners were observed at side-lap joints in the metal deck panels. No appreciable corrosion on the underside of the roof deck was observed.
2. Joists were fastened to their supporting joist girders and at interior columns by welds at the bearing locations. In general, welds were made at only the top chord of the joists at connections to girders (in the absence of lateral bracing for the bottom chord of the girders). Top and bottom chords of the joists were welded to the bearing support at interior column connections. Top and bottom chord bridging was observed to be consistent throughout the building.
3. Erection bolts and bottom chord stabilizer plates are present at joist girder connections to supporting columns. The top chord bearing and any associated welds at these locations were not accessible to be viewed in this study.
4. Wind bracing at column lines 1 : H-G and 14.1 : C-B was noted and appeared to be in general conformance with the construction documents.

5. Structural separation of the main mall areas and the large department stores generally conformed to detail 6 on 1S4.
6. Minor to moderate efflorescence at joist bearing seats and in the field of the exterior CMU walls was present on the interior in various locations.
7. Transitions from the lower roof areas in the retail sections to the high roof over the main mall walkway area were observed to be in general accordance with details 7 on 1S5 and 5 on 1S4.

The following are general observations from retail area adjacent to D1 in the main mall structure:

1. Steel roof deck was attached to the metal joists by puddle welds at varying intervals, information pertaining to the required fastening spacing was not easily found on the construction documents. No fasteners were observed at side-lap joints in the metal deck panels. No appreciable corrosion on the underside of the roof deck was observed.
2. Joists were fastened to their supporting joist girders and at interior columns by welds at the bearing locations. In general, welds were made at only the top chord of the joists at connections to girders (in the absence of lateral bracing for the bottom chord of the girders). Top and bottom chords of the joists were welded to the bearing support at interior column connections. Top and bottom chord bridging was observed to be consistent throughout the building, however it was not attached to the masonry walls at the perimeter as indicated on detail 11 on 1S4.
3. Erection bolts and bottom chord stabilizer plates were present at joist girder connections to supporting columns. The top chord bearing and any associated welds at these locations were not accessible to be viewed in this study.
4. Minor to moderate efflorescence at joist bearing seats and in the field of the exterior CMU walls is present on the interior in various locations.
5. No bottom chord stabilizer for the joists bearing on the masonry walls of the east elevation as depicted on detail 10 on 1S4 was observed.
6. No bottom chord stabilizer for the joist girders bearing on the masonry walls in this area as depicted on detail 8 on 1S4 was observed.

DISCUSSION

Various detailing deficiencies were noted in the former JC Penney store. Construction documents indicate that the bottom chord of steel joists should be welded to the angle bearing seat at column connections. Welds at this location did not appear to be present. Connections at the bottom chord of the joists are intended to provide additional stability to the steel members.

The lateral force resisting system of the former JC Penney store utilizes the flexible roof diaphragm to distribute wind loads to masonry shear walls. This system relies on continuous

attachment of the roof deck to the shear walls along the perimeter of the building as depicted in details 5 and 9 on 2S4. The continuous angle designed to provide this attachment was only installed in isolated locations.

Cracks the full height of the masonry wall on the west elevation in the storage area of the former JC Penney store were observed. This masonry wall provides vertical support for joist girders as well as lateral resistance for wind loads on the building structure. As such, the observed distress warrants additional evaluation to determine the as built conditions and cause of the cracking.

Masonry infill walls were constructed under the structural steel elements above the storefront entrance from the main mall area at the former JC Penney store. Cracks in these walls were observed directly under steel joists where connections to the structural steel columns occur. The cracks are likely related to stresses induced in the masonry from deflections in the steel joists above. The infill walls should be repaired with detailing that allows for structural movement above.

Cracks in the second level concrete floor slab at the mechanical room in the former Belk store may be related to the applied loading of the existing equipment. The floor slab consists of a lightweight concrete deck reinforced with welded wire mesh and its components would have been designed for the anticipated mechanical equipment to be placed in this area, verification that the equipment and location of each item match the design intent should be obtained.

Minor detailing deficiencies were noted in the main mall area. It is unclear from the structural drawings used as a reference for the main mall area what the fastening pattern requirements for the roof deck are. In general, side-lap fasteners were not observed to be installed in the areas accessed as part of this study. Details intended to provide stabilization to flexural members of the roof system were observed to be installed incorrectly in isolated areas. Deficiencies include joist bridging not fastened to walls at perimeters and bottom chord stabilizer plates omitted for joists and joist girders at perimeter walls.

Deficiencies observed in the exterior masonry walls and veneers generally include globally failed sealant joints, cracking, and failed coatings. All of these conditions will allow increased water penetration into the exterior wall systems. Evidence of this water penetration in the masonry walls was observed from the interior in various locations. Where this increased penetration occurs in load bearing, masonry shear walls or adjacent to structural steel at the perimeter of the building it will contribute to accelerated deterioration of the structural systems.

Spalling and shallow delaminations in the concrete canopy structures at the entrances to the former Belk store are present. Corrosion of embedded reinforcing steel and flexural and/or shear cracks that would decrease the structural integrity of these elements were not observed. Continued exposure to the exterior elements will result in continued deterioration through carbonation and freeze-thaw processes. Delaminations and spalling concrete may present an overhead hazard at these areas if not stabilized.

RECOMMENDATIONS

The following are general recommendations to repair noted deficiencies in the main structural systems:

1. Means of continuous positive attachment of the steel roof deck to the lateral force resisting systems in the former JC Penney store should be provided.
2. At locations where point loads on steel joists occur between working points of joists, additional strut members should be installed.
3. Bottom chords of the steel joists at connections to columns should be welded as depicted in the construction documents to provide the intended stability.
4. Grouting and reinforcing conditions should be established through various non-destructive testing methods including ground penetrating radar or infrared imaging at cracked load bearing walls in the former JC Penney store. Baseline capacities can be determined for these elements from this additional evaluation and compared to the expected structural demand. Based on the findings, repairs to provide an adequate system should be implemented.
5. Verification of the required fastening of the roof deck as part of the lateral force resisting system for the main mall area should be obtained and additional fasteners should be added if required.
6. Stabilizer plates should be installed as indicated in the construction documents at locations where deficiencies in area D1 were noted.
7. Repairs at locations of distress in the exterior masonry should include replacement of sealant joints, isolated tuck-pointing and the installation of an effective system to protect the exterior CMU walls from increased water penetration.
8. Further evaluation to include destructive openings, soils testing, and shallow excavations to observe the foundation elements should be employed to verify the cause of the distress at the northwest and southwest corners of the facility. Anchorage of the brick veneer and reinforcing conditions of the masonry walls at these locations should also be verified. Similar exploratory work to determine the cause of the veneer cracking at the east elevation entrance to the former Belk store should be employed.
9. Repairs at the concrete canopy structures should include replacement of the flashing components that protect the horizontal surfaces from exposure to the elements as well as removal of delaminated concrete areas and patching repairs to restore the solid substrate and cover for reinforcing steel. Replacement of the protective coating on the exterior of the concrete to prevent future deterioration should also be completed.

10. The screen wall structure on the roof of the former Belk store should be replaced.
11. Complete replacement of metal railings and patching repairs at concrete knee walls should be implemented if these elements are to be incorporated into the renovations.

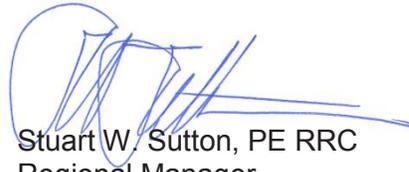
We trust this provides the information you require at this time. Please notify the undersigned should you have any questions or comments concerning the information presented herein.

Respectfully,

Terracon Consultants, Inc.



Kurt R. Vilella, E.I.T.
Project Manager



Stuart W. Sutton, PE RRC
Regional Manager



Photograph 1: West Elevation



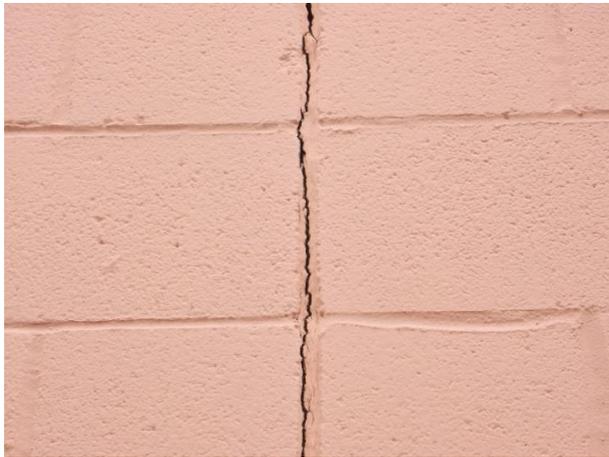
Photograph 2: West Elevation



Photograph 3: West Elevation



Photograph 4: West Elevation



Photograph 5: West Elevation



Photograph 6: West Elevation



Photograph 7: West Elevation



Photograph 8: West Elevation



Photograph 9: West Elevation



Photograph 10: West Elevation



Photograph 11: West Elevation



Photograph 12: West Elevation



Photograph 13: West Elevation



Photograph 14: West Elevation



Photograph 15: West Elevation



Photograph 16: West Elevation



Photograph 17: South Elevation



Photograph 18: South Elevation



Photograph 19: South Elevation



Photograph 20: East Elevation



Photograph 21: East Elevation



Photograph 22: East Elevation



Photograph 23: East Elevation



Photograph 24: East Elevation



Photograph 25: East Elevation



Photograph 26: East Elevation



Photograph 27: East Elevation



Photograph 28: East Elevation



Photograph 29: East Elevation



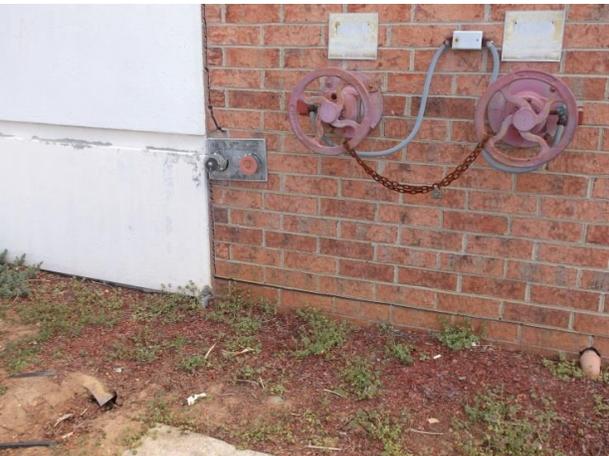
Photograph 30: East Elevation



Photograph 31: East Elevation



Photograph 32: West Elevation



Photograph 33: West Elevation



Photograph 34: West Elevation



Photograph 35: Roof



Photograph 36: Roof



Photograph 37: Roof



Photograph 38: Roof



Photograph 39: Roof



Photograph 40: Roof



Photograph 41: Former Belk Store



Photograph 42: Former Belk Store



Photograph 43: Former Belk Store



Photograph 44: Former Belk Store



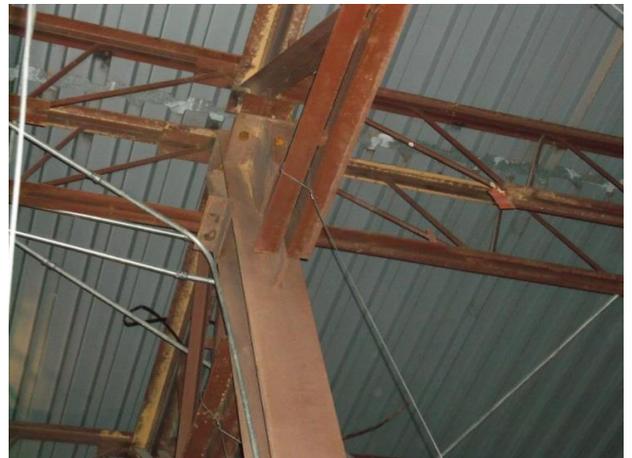
Photograph 45: Former Belk Store



Photograph 46: Former Belk Store



Photograph 47: Former Belk Store



Photograph 48: Former Belk Store



Photograph 49: Former Belk Store



Photograph 50: Former Belk Store



Photograph 51: Former Belk Store



Photograph 52: Former Belk Store



Photograph 53: Former Belk Store



Photograph 54: Former Belk Store



Photograph 55: Former Belk Store



Photograph 56: Former Belk Store



Photograph 57: Former JC Penney Store



Photograph 58: Former JC Penney Store



Photograph 59: Former JC Penney Store



Photograph 60: Former JC Penney Store



Photograph 61: Former JC Penney Store



Photograph 62: Former JC Penney Store



Photograph 63: Former JC Penney Store



Photograph 64: Former JC Penney Store



Photograph 65: Former JC Penney Store



Photograph 66: Former JC Penney Store



Photograph 67: Former JC Penney Store



Photograph 68: Former JC Penney Store



Photograph 69: Former JC Penney Store



Photograph 70: Former JC Penney Store



Photograph 71: Main Mall Area



Photograph 72: Main Mall Area



Photograph 73: Main Mall Area



Photograph 74: Main Mall Area



Photograph 75: Main Mall Area



Photograph 76: Main Mall Area



Photograph 77: Main Mall Area



Photograph 78: Main Mall Area



Photograph 79: Main Mall Area



Photograph 80: Main Mall Area



Photograph 81: Main Mall Area



Photograph 82: Main Mall Area



Photograph 83: Main Mall Area



Photograph 84: Main Mall Area



Photograph 85: Main Mall Area

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